



180 HIGH ST. FARMINGTON, ME 04086

MALLETT HALL RENOVATION

ISSUED FOR BID & PERMIT

OWNER:

UNIVERSITY OF MAINE AT FARMINGTON

CHA Project No.
082184

DATE: 09/15/2023

ARCHITECT:



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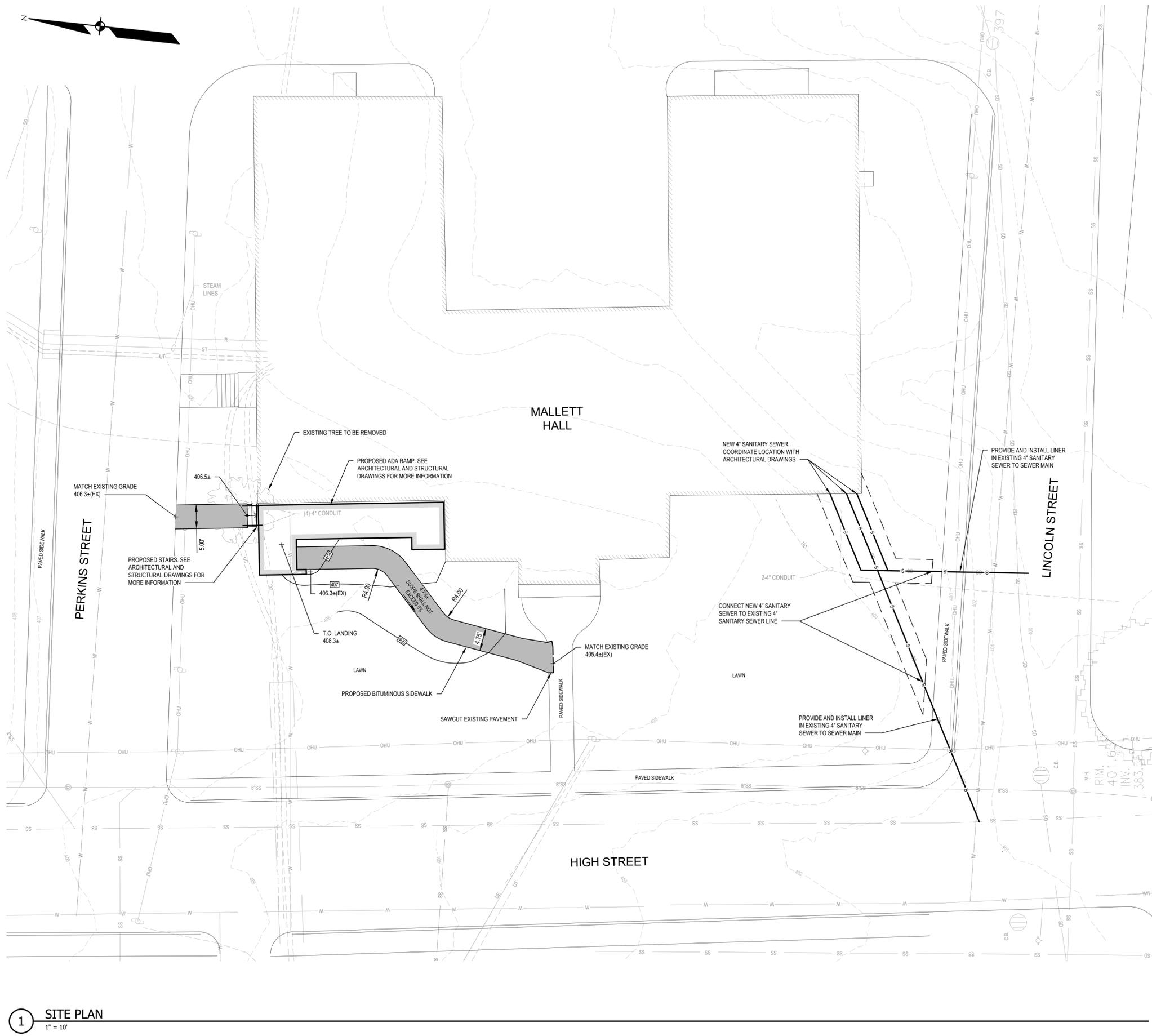
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LEGEND		
EXISTING	DESCRIPTION	PROPOSED
[Symbol]	GRANITE MONUMENT - 3' OFFSET	[Symbol]
[Symbol]	IRON PIN FOUNDSET	[Symbol]
[Symbol]	IRON ROD FOUND	[Symbol]
[Symbol]	CAPPED IRON ROD FOUND	[Symbol]
[Symbol]	DRILL HOLE FOUND	[Symbol]
[Symbol]	GRANITE MONUMENT FOUND	[Symbol]
[Symbol]	STREET LINE	[Symbol]
[Symbol]	LOT SETBACKS	[Symbol]
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[Symbol]	'NO CUT' BUFFER	[Symbol]
[Symbol]	WETLANDS	[Symbol]
[Symbol]	EDGE OF ROAD/TRAVELED WAY	[Symbol]
[Symbol]	SOIL TEST PIT	[Symbol]
[Symbol]	CONTOUR	[Symbol]
[Symbol]	SPOT GRADE	[Symbol]
[Symbol]	GAS SHUT-OFF	[Symbol]
[Symbol]	UTILITY POLE	[Symbol]
[Symbol]	OVERHEAD UTILITIES	[Symbol]
[Symbol]	UNDERGROUND ELECTRICAL	[Symbol]
[Symbol]	ELECTRICAL TRANSFORMER	[Symbol]
[Symbol]	FIRE HYDRANT	[Symbol]
[Symbol]	WATER LINE	[Symbol]
[Symbol]	WATER GATE	[Symbol]
[Symbol]	SEWER LINE	[Symbol]
[Symbol]	SEWER MANHOLE	[Symbol]
[Symbol]	DRAINAGE MANHOLE	[Symbol]
[Symbol]	CATCH BASIN	[Symbol]
[Symbol]	STORMDRAIN	[Symbol]
[Symbol]	UNDERDRAIN	[Symbol]
[Symbol]	SILT FENCE	[Symbol]
[Symbol]	TEMP. STONE CHECK DAM	[Symbol]
[Symbol]	GRADING AND FLOW DIRECTION	[Symbol]
[Symbol]	HAY BALES	[Symbol]
[Symbol]	EROSION CONTROL BLANKET	[Symbol]
[Symbol]	STORMWATER BOUNDARY	[Symbol]
[Symbol]	STORMWATER FLOW (T ₀)	[Symbol]
[Symbol]	FACE OF LEDGE OUTCROP	[Symbol]
[Symbol]	BIRCH	[Symbol]
[Symbol]	MAPLE	[Symbol]
[Symbol]	TREE LINE	[Symbol]
[Symbol]	SITE LIGHTING (BAYSIDE FIXTURE)	[Symbol]
[Symbol]	STONE WALL	[Symbol]

GENERAL NOTES

- THE CONTRACT WORK TO BE PERFORMED ON THIS PROJECT CONSISTS OF FURNISHING ALL REQUIRED LABOR, MATERIALS, EQUIPMENT, IMPLEMENTS, PARTS AND SUPPLIES NECESSARY FOR OR APPURTENANT TO THE INSTALLATION OF CONSTRUCTION IMPROVEMENTS IN ACCORDANCE WITH THESE DRAWINGS AND AS FURTHER ELABORATED IN ANY ACCOMPANYING SPECIFICATIONS.
- THE WORK SHALL BE PERFORMED IN A THOROUGH WORKMANLIKE MANNER. ALL CONTRACTORS TO CONFORM TO ALL APPLICABLE OSHA STANDARDS. ANY REFERENCE TO A SPECIFICATION OR DESIGNATION OF THE AMERICAN SOCIETY FOR TESTING MATERIALS, FEDERAL SPECIFICATIONS, OR OTHER STANDARDS, CODES OR ORDERS, REFERS TO THE MOST RECENT OR LATEST SPECIFICATION OR DESIGNATION.
- ALL CONSTRUCTION WITHIN THE TOWN RIGHT OF WAY SHALL COMPLY WITH TOWN PUBLIC WORKS STANDARDS. ALL CONSTRUCTION WITHIN A STATE RIGHT OF WAY SHALL COMPLY WITH MAINE D.O.T. STANDARDS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO RESPECTIVE UTILITY STANDARDS.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY THE TOWN PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWN REQUIRED TO PERFORM ALL THE WORK (STREET OPENINGS, BUILDING PERMIT, ETC.). THE CONTRACTOR SHALL POST ALL BONDS AS REQUIRED, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR IS TO INFORM ALL AREA UTILITY COMPANIES AND GOVERNMENTAL AGENCIES OF PLANNED CONSTRUCTION. THE SITE CONTRACTOR IS REQUIRED TO CONTACT DIG-SAFE (1-800-225-4977) AT LEAST 3 BUSINESS DAYS PRIOR TO ANY EXCAVATION TO VERIFY ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS.
- THE PROJECT DRAWINGS ARE GENERALLY SCHEMATIC AND INDICATE THE POSSIBLE LOCATION OF EXISTING UNDERGROUND UTILITIES. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY RECORDS, RECORD MAPS, AND FIELD SURVEY. IT IS NOT GUARANTEED TO BE CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES, WHEN THOSE SERVICES ARE TO BE LEFT IN PLACE. THE CONTRACTOR IS TO PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING THE EXCAVATING AND BACKFILLING OPERATIONS. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED UTILITIES BE FOUND, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
- OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN FEET (10') OF ANY ELECTRIC LINE. IF THE CONTRACTOR MUST OPERATE CLOSER THAN 10', THE CONTRACTOR MUST CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS BEFORE ENCROACHING ON THIS REQUIREMENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLANS, APPROVALS, AND DETAILS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL THE SITE CONDITIONS IN THE FIELD AND CONTACT THE DESIGN ENGINEER IF THERE ARE ANY DISCREPANCIES REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT AN APPROPRIATE REVISION CAN BE MADE PRIOR TO BIDDING.
- THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF THE BUILDING AREA. BUILDING AND DRIVEWAYS SHOWN ARE CONCEPTUAL. ALL SITE DIMENSIONS ARE REFERENCED TO PROPERTY LINES, THE FACE OF CURBS, OUTSIDE FACE OF WALKING OR EDGE OF PAVING UNLESS OTHERWISE NOTED.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED IN WRITING BY THE OWNER, DESIGN ENGINEER, AND APPROPRIATE GOVERNMENTAL AGENCY PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL RESTORE ALL UTILITY STRUCTURES, PIPE, UTILITIES, PAVEMENT, CURBS, SIDEWALKS, AND LANDSCAPED AREAS DISTURBED BY CONSTRUCTION TO AS GOOD AS BEFORE BEING DISTURBED AS DETERMINED BY CITY CODE ENFORCEMENT OFFICIALS. ANY DAMAGES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXCAVATION SHALL BE BACKFILLED TO EXISTING GRADE BEFORE THE END OF THE DAY OR ADEQUATELY PROTECTED FROM DANGER TO HUMANS AND ANIMALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT. THE OWNER WILL PROVIDE A BENCH MARK AT THE CONSTRUCTION SITE FROM WHICH TO BEGIN LAYOUT.
- THE CONTRACTOR SHALL GUARANTEE THE FAITHFUL REMEDY OF ANY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP AND GUARANTEES PAYMENT FOR ANY RESULTING DAMAGE WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
- A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER, DESIGNERS, TOWN OFFICIALS AND CONTRACTOR SHALL BE REQUIRED BEFORE ANY CONSTRUCTION OCCURS ON THE PROJECT. DURING CONSTRUCTION THERE SHALL BE WEEKLY PROGRESS MEETINGS WITH THE OWNER (ON-SITE OR TELECONFERENCE) UNTIL PROJECT COMPLETION.
- PROPER IMPLEMENTATION AND MAINTENANCE OF EROSION CONTROL MEASURES ARE OF PARAMOUNT IMPORTANCE FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER, THEIR REPRESENTATIVES, OR STATE/LOCAL/FEDERAL INSPECTORS AT NO ADDITIONAL COST TO THE OWNER.



1 SITE PLAN
1" = 10'

REV #	REVISION	DATE
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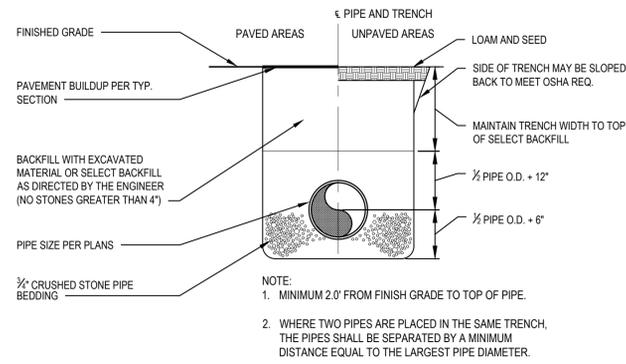
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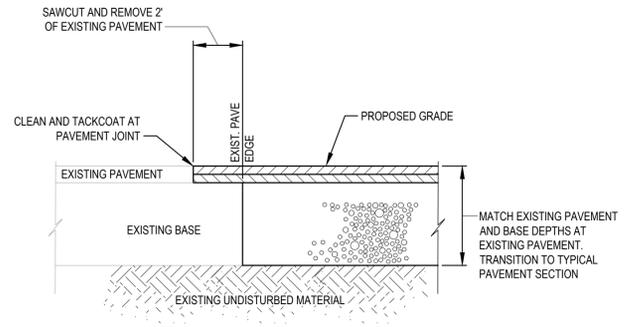
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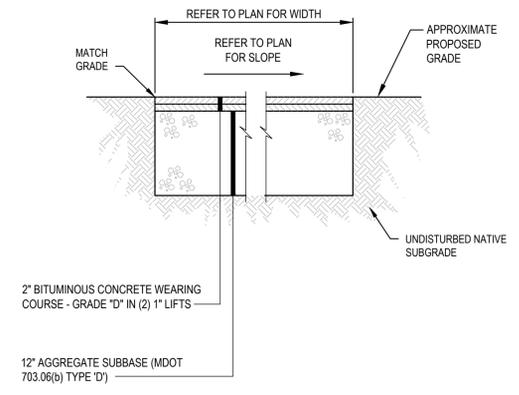
SHEET
C1.0



1 TYPICAL PIPE TRENCH SECTION
 NTS



2 TYPICAL PAVEMENT JOINT AT EXISTING PAVEMENT
 NTS



3 TYPICAL SIDEWALK DETAIL
 NTS

REV. #	REVISION	DATE

NOT FOR CONSTRUCTION

JOB NO.
 23-190

ISSUED FOR BID
 AND PERMIT

ISSUE
 09/15/2023

TITLE
 SITE DETAILS

SHEET
C2.0

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C

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GENERAL NOTES:

- 1. REFERENCE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN. REFERENCE MECHANICAL, ELECTRICAL, AND ARCHITECTURAL PLANS FOR SIZES AND LOCATIONS OF WALL AND SLAB OPENINGS, DUCTS, PIPING, CURBS, AND EQUIPMENT PADS. IN THE EVENT OF A CONFLICT BETWEEN THE DRAWINGS, SPECIFICATIONS, OR NOTES ON THE DRAWINGS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION.
2. EXISTING DIMENSIONS AND CONDITIONS ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL EXISTING CONSTRUCTION AND DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION OR FABRICATION. ALL DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF DEVIATIONS OR CHANGES ARE REQUIRED TO THE CONTRACT DOCUMENTS OR APPROVED SHOP DRAWINGS DUE TO INTERFERENCES, FABRICATION ERRORS, OR OTHER CAUSES.
4. THE STRUCTURE IS SELF-SUPPORTING AND STABLE AFTER THE ENTIRE BUILDING IS COMPLETELY CONSTRUCTED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ERECTION PROCEDURES AND SEQUENCING DURING CONSTRUCTION AND ERECTION TO PROVIDE AND ENSURE LOCAL AND OVERALL STABILITY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION AND ERECTION. THE CONTRACTOR SHALL RETAIN A LICENSED STRUCTURAL ENGINEER TO DESIGN TEMPORARY BRACING/SHORING AND DETERMINE WHERE THE TEMPORARY BRACING/SHORING IS NEEDED.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTION PROCEDURES, SEQUENCING AND FOR COMPLYING WITH ALL APPLICABLE SAFETY REGULATIONS DURING THE WORK.
6. SHOP DRAWINGS SHALL BE SUBMITTED ELECTRONICALLY AND WILL USUALLY BE RETURNED WITHIN 2 WEEKS OF RECEIPT.
7. REFERENCE THE PROJECT SPECIFICATIONS FOR MATERIAL, WORKMANSHIP AND ADDITIONAL INFORMATION NOT COVERED IN THESE NOTES (WHERE APPLICABLE)

DESIGN CRITERIA:

- 1. BUILDING CODES: INTERNATIONAL BUILDING CODE (IBC), 2015 EDITION ASCE 7-10 MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES
2. SUPERIMPOSED DEAD LOADS: RESIDENTIAL = 15 PSF
3. LIVE LOADS: RESIDENTIAL = 40 PSF

FOUNDATION NOTES:

- 1. FOUNDATIONS HAVE BEEN DESIGNED USING A PRESUMED ALLOWABLE BEARING PRESSURE PER TABLE 1806.2 OF THE INTERNATIONAL BUILDING CODE BASED ON TYPICAL SOILS FOUND IN THIS AREA. IF CLAY, MUD, ORGANIC SILT, PEAT OR UNPREPARED FILL IS FOUND DURING CONSTRUCTION, NOTIFY ENGINEER IMMEDIATELY, AS THE ALLOWABLE LOADS USED IN DESIGN WILL NEED TO BE VERIFIED BY A GEOTECHNICAL ENGINEER. TRILLIUM ENGINEERING GROUP RECOMMENDS PROCURING A GEOTECHNICAL ENGINEER TO VERIFY EXISTING SOIL CONDITIONS.
2. ALLOWABLE SOIL BEARING CAPACITY USED IN DESIGN = 2,000 PSF
3. MINIMUM FROST DEPTH COVER = 4'-6" FOR EXTERIOR FOOTINGS BELOW FINAL EXTERIOR GRADE.
4. EXCAVATION, BACKFILL, COMPACTION, GRADATION REQUIREMENTS, FOUNDATION DRAINAGE AND PERMANENT DEWATERING REQUIREMENTS SHALL BE PROVIDED BY A GEOTECHNICAL ENGINEER.
5. CONCRETE SLABS ON GRADE SHALL BE CONSTRUCTED ON A MINIMUM 12" THICK LAYER OF PROPERLY COMPACTED STRUCTURAL FILL, UNLESS OTHERWISE DIRECTED BY A GEOTECHNICAL ENGINEER.
6. FOUNDATIONS SHALL BEAR ON UNDISTURBED NATIVE SOIL, UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL AND STRUCTURAL ENGINEER IF ANY UNSUITABLE SOILS ARE ENCOUNTERED PRIOR TO PLACING FOUNDATIONS.
7. FOUNDATION WALLS AND SLAB-ON-GRADES SHALL REACH THEIR FULL 28 DAY COMPRESSIVE STRENGTH PRIOR TO BACKFILLING. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING/BRACING FOR WALLS WHEN BACKFILL IS PLACED PRIOR TO CONCRETE ACHIEVING ITS FULL 28 DAY STRENGTH. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING/BRACING FOR WALLS AND OTHER STRUCTURAL ELEMENTS PRIOR TO INSTALLATION OF PERMANENT BRACING/FLOOR/STRUCTURE.
8. PROTECT FOUNDATIONS FROM FROST AND KEEP BOTTOM OF TRENCH DRY DURING CONSTRUCTION. IF GROUNDWATER IS ENCOUNTERED NEAR OR ABOVE THE BASE OF THE FOOTINGS, EXCAVATIONS SHALL BE DEWATERED DURING CONSTRUCTION. SURFACE WATER SHALL BE DIVERTED AWAY FROM EXCAVATIONS.
9. DO NOT UNDERMINE EXISTING FOUNDATIONS OF ADJACENT STRUCTURES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHORING, BRACING AND UNDERPINNING OF EXISTING STRUCTURES DURING EXCAVATION, BACKFILLING, AND CONSTRUCTION. CONTRACTOR SHALL SLOPE EXCAVATIONS TO ACHIEVE SOIL STABILITY.

STRUCTURAL STEEL NOTES:

- 1. STRUCTURAL STEEL WORK SHALL CONFORM TO IBC 2015 REFERENCED EDITIONS OF AISC "SPECIFICATION FOR THE DESIGN FABRICATIONS, AND ERECTION OF STRUCTURAL STEEL" AND THE "CODE OF STANDARD PRACTICE"
2. STRUCTURAL STEEL MEMBERS SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
WIDE FLANGE SHAPES AND TEES ASTM A992
ANGLES, PLATES, CHANNELS ASTM A36, Fy=36 KSI (U.N.O.)
SQUARE/RECTANGULAR HSS ASTM A500, GRADE B, Fy=46 KSI
ROUND HSS ASTM A500, GRADE B, Fy=42 KSI
STEEL PIPE ASTM A53, TYPE E OR S, GRADE B, Fy=35 KSI
3. SHOP DRAWINGS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW PRIOR TO COMMENCING FABRICATION.
4. FIELD CONNECTIONS SHALL UTILIZE MINIMUM 3/4" DIAMETER A325 HIGH STRENGTH BOLTS, U.N.O. BOLTED CONNECTIONS THAT ARE PART OF MOMENT AND/OR BRACED FRAMES SHALL BE DESIGNED AS BEARING-TYPE CONNECTIONS WITH PRETENSIONED BOLTS IN STANDARD HOLES, OR AS SLIP CRITICAL CONNECTIONS. LOCATIONS MARKED "SC" ON THE DRAWINGS SHALL BE DESIGNED AS SLIP CRITICAL CONNECTIONS. SLIP CRITICAL CONNECTIONS SHALL UTILIZE LOAD INDICATOR WASHERS OR TENSION CONTROL BOLTS. USE A490 BOLTS WHERE INDICATED ON DRAWINGS.
5. CONTRACTOR IS RESPONSIBLE FOR DESIGN OF CONNECTIONS NOT ALREADY DETAILED ON STRUCTURAL DRAWINGS. CONTRACTOR SHALL SUBMIT DESIGN STAMPED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE WHERE PROJECT IS LOCATED PRIOR TO COMMENCING FABRICATION.
6. WELDING SHALL CONFORM TO AWS D1.1. USE LOW-HYDROGEN SMAW ELECTRODES WITH MINIMUM TENSILE STRENGTH OF 70 KSI.
7. PROVIDE 1/4" LEVELING PLATES UNDER ALL COLUMN BASE PLATES, U.N.O. LEVELING PLATES SHALL BE SET AND GROUTED PRIOR TO COLUMN ERECTION.
8. ALL STRUCTURAL STEEL NOT EXPOSED TO WEATHER SHALL RECEIVE ONE COAT OF STANDARD SHOP PRIMER, U.N.O.
9. SEE DRAWINGS AND CONCRETE NOTES FOR ANCHOR BOLT INFORMATION.

CONCRETE NOTES:

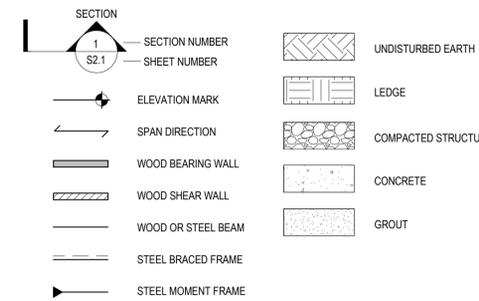
- 1. ALL WORK SHALL CONFORM TO IBC 2015 REFERENCED EDITIONS OF "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318) AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301).
2. REQUIRED CONCRETE PARAMETERS ARE AS FOLLOWS:
LOCATION MAX W/C RATIO Fc AIR-ENTRAINMENT MAX DENSITY
FOUNDATIONS, FOOTINGS, & FOUNDATION WALLS -- 3,500 PSI 5% ± 1 1/2% 150 PCF
INT. SLAB-ON-GRADE 0.50 3,000 PSI 2% ± 1 1/2% 150 PCF
EXT. SLAB-ON-GRADE 0.50 4,500 PSI 5% ± 1 1/2% 150 PCF
SLAB-ON-METAL-DECK -- 3,000 PSI 2% ± 1 1/2% 115 PCF
WHERE: W/C = WATER TO CEMENT RATIO AND Fc = COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS
USE PORTLAND CEMENT TYPE II, IN CONFORMANCE WITH ASTM 150
AIR ENTRAINING ADMIXTURES SHALL CONFORM TO ASTM C 260
ADMIXTURES SHALL CONFORM TO ASTM C 494
FLY ASH USED AS ADMIXTURES SHALL CONFORM TO ASTM C 618
3. MAXIMUM AGGREGATE SIZE SHALL BE 3/4", IN CONFORMANCE WITH ASTM C33.
4. CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE IS NOT PERMITTED.
5. MAXIMUM SLUMP AFTER THE ADDITION OF A WATER-REDUCING ADMIXTURE IS 6 INCHES.
6. CONTRACTOR SHALL NOT PLACE CONCRETE ON FROZEN GROUND OR IN WATER. ADEQUATE EQUIPMENT SHALL BE PROVIDED FOR HEATING CONCRETE MATERIALS AND PROTECTING CONCRETE DURING NEAR-FREEZING OR FREEZING WEATHER. REFERENCE ACI 306, AS NOTED ABOVE, FOR RECOMMENDATIONS FOR COLD WEATHER CONCRETING.
7. VERTICAL CONSTRUCTION JOINTS IN WALLS SHALL NOT EXCEED A SPACING OF 40 FEET, U.N.O.
8. ANCHOR BOLTS SHALL BE HEADED RODS AND CONFORM TO ASTM F1554, GRADE 36 KSI WELDABLE STEEL, U.N.O. ON DRAWINGS. PROVIDE GALVANIZED ANCHOR BOLTS WHERE IN CONTACT WITH PRESSURE TREATED LUMBER.
9. REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60, DEFORMED BARS.
10. WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185 AND BE PROVIDED IN FLAT SHEETS. PROVIDE ADEQUATE SUPPORT FOR WWF TO ENSURE PROPER LOCATION WITHIN SLAB DURING CONCRETE PLACEMENT.
11. MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE AS FOLLOWS:
A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3 INCHES
B. FORMED CONCRETE IN CONTACT WITH EARTH OR EXPOSED TO WEATHER 2 INCHES
C. CONCRETE NOT EXPOSED TO EARTH OR WEATHER IN SLABS & WALLS 1 1/2 INCHES
12. WELDING OF REINFORCEMENT IS NOT PERMITTED.
13. PROVIDE NON-SHRINK GROUT BENEATH LEVELING PLATES & BEARING PLATES w/ MINIMUM COMPRESSIVE STRENGTH OF 7,000 PSI AT 28 DAYS.
14. PROVIDE CONTINUOUS REINFORCEMENT AT ALL CORNERS AND INTERSECTIONS, SEE TYPICAL FOUNDATION WALL DETAILS ON FOUNDATION DETAILS SHEET.
15. REINFORCING BARS AND ALL EMBEDDED ITEMS, INCLUDING ANCHOR BOLTS, MUST BE ACCURATELY PLACED AND ADEQUATELY SECURED BEFORE CONCRETE IS PLACED. "WET SETTING" OF STEEL COLUMN ANCHOR BOLTS INTO CONCRETE IS STRICTLY PROHIBITED.
16. UNLESS NOTED ON DRAWINGS, FOLLOW ACI STANDARDS FOR LAP SPLICE LENGTHS OF REINFORCING BARS.

WOOD NOTES:

- 1. ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH IBC 2015 REFERENCED EDITIONS OF THE AITC TIMBER CONSTRUCTION MANUAL AND AF&PA NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS).
2. ALL FRAMING SHALL BE SPRUCE-PINE-FIR, No.2 OR BETTER U.N.O. AND HAVE A MAXIMUM MOISTURE CONTENT OF 19%.
3. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED (PT) SOUTHERN YELLOW PINE.
4. WHERE "LVL" IS NOTED ON DRAWINGS, PROVIDE LAMINATED VENEER LUMBER, WHICH HAS THE FOLLOWING MINIMUM ALLOWABLE STRESSES:
Fb = 2800 PSI Fc = 3000 PSI (PARALLEL TO GRAIN)
Fv = 285 PSI Fc = 750 PSI (PERPENDICULAR TO GRAIN)
Et = 2150 PSI E = 2,000,000 PSI
5. WHERE "PSL" IS NOTED ON DRAWINGS, PROVIDE PARALLAM STRAND LUMBER, WHICH HAS THE FOLLOWING MINIMUM ALLOWABLE STRESSES:
Fb = 2400 PSI Fc = 2500 PSI (PARALLEL TO GRAIN)
Fv = 190 PSI Fc = 545 PSI (PERPENDICULAR TO GRAIN)
Et = 1995 PSI E = 1,800,000 PSI
6. ALL ENGINEERED LUMBER THAT IS EXPOSED TO WEATHER SHALL BE WOLMANIZED.
7. ALL FLOOR SHEATHING SHALL BE 3/4" TONGUE AND GROOVE, GLUED AND NAILED TO FLOOR FRAMING WITH 8d RINK SHANK NAILS AT 6" o.c. AT SUPPORTED PANEL EDGES, 12" o.c. AT INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE ON DRAWINGS.
8. ALL ROOF SHEATHING (5/8") AND WALL SHEATHING (1/2") SHALL BE APA PERFORMANCE-RATED. ATTACH TO SUPPORTED PANEL EDGES WITH 8d NAILS AT 6" o.c. AND AT INTERMEDIATE SUPPORTS WITH 8d NAILS AT 12" o.c. U.N.O. SEE DRAWINGS FOR MORE STRINGENT NAILING REQUIREMENTS AT WOOD SHEAR WALLS.
9. SHEATHING SHALL BE ORIENTED WITH LONG DIMENSION PERPENDICULAR TO THE SUPPORTS AND BE CONTINUOUS OVER TWO OR MORE SUPPORTS. STAGGER ALL JOINTS & PROVIDE ADEQUATE JOINT SPACING (18" TYP) AS RECOMMENDED BY MANUFACTURER.
10. PROVIDE FULL DEPTH BLOCKING AT ENDS AND INTERIOR SUPPORTS OF ALL JOISTS AND RAFTERS WHERE JOISTS AND RAFTERS FRAME OVER SUPPORTS. PROVIDE 1x3 DIAGONAL BRIDGING OR FULL DEPTH SOLID BLOCKING FOR EACH 8'-0" OF SPAN FOR ALL JOISTS AND RAFTERS.
11. WHERE BEAMS ARE LABELED ON PLAN, DO NOT SPLICE BEAM NOR ANY PLY OF BEAM BETWEEN SUPPORTS.
12. ALL CONNECTION HARDWARE SHALL BE BY SIMPSON STONG-TIE (OR APPROVED EQUIVALENT) AND SHALL BE HOP-DIPPED GALVANIZED. HARDWARE IN CONTACT WITH PRESSURE TREATED (PT) LUMBER SHALL BE GALVANIZED G165 (ZMAX). REFER TO MANUFACTURERS LITERATURE FOR PROPER INSTALLATION GUIDELINES.
13. FASTENERS USED IN CONTACT WITH PRESSURE TREATED (PT) LUMBER SHALL BE HOT-DIPPED GALVANIZED, STAINLESS STEEL, OR OTHER FINISH APPROVED BY ENGINEER.
14. ALIGN COLUMNS SUCH THAT COLUMNS BEAR CONTINUOUSLY TO FOUNDATION SUPPORT. INSTALL ADDITIONAL SOLID BLOCKING WITHIN FLOOR PACKAGE TO PROVIDE CONTINUITY OF LOAD PATH.
15. PROVIDE HORIZONTAL BLOCKING FOR ALL LOAD BEARING WALLS AT 4'-0" O.C. VERTICAL, MAXIMUM.
16. SUBMIT SHOP DRAWINGS FOR ALL PREFABRICATED WOOD JOISTS AND WALL PANELS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.

REBAR LAP SPLICE TABLE
BAR SIZE #3 #4 #5 #6 #7 #8 #9
3000 & 3500 PSI CONCRETE 18" 24" 30" 36" 48" 56" 64"
4500 PSI CONCRETE 16" 20" 24" 30" 40" 48" 54"

LEGEND:



ABBREVIATION:

Table of abbreviations including: AB ANCHOR BOLT, ABV ABOVE, ADDL ADDITIONAL, ARCH ARCHITECT, BIFG, BOF BOTTOM OF FOOTING, BLDG BUILDING, BLW BELOW, BM BEAM, BOT BOTTOM, BRG BEARINGS, BTWN BETWEEN, C STRUCTURAL STEEL CHANNEL, CANT CANTILEVER, CFMF COLD-FORM METAL FRAMING, CIP CAST-IN-PLACE CONCRETE, CJ CONTROL JOINT, CL CENTERLINE, CLR CLEAR, CMU CONCRETE MASONRY UNIT, CNJ CONSTRUCTION JOINT, COL COLUMN, CONC CONCRETE, CONN CONNECTION, CONT CONTINUOUS, CONTR CONTRACTOR, CP COMPLETE PENETRATION WELD, CY CUBIC YARD, DIA DIAMETER, DIM DIMENSION, DISCONT DISCONTINUOUS, DWG DRAWING, (E), EX, EXIST EXISTING, EA EACH, EF EACH FACE, EL ELEV ELEVATION, EQ EQUAL, EQUIP EQUIPMENT, ES EACH SIDE, EW EACH WAY, EXP EXPANSION, EXT EXTERIOR, F FOOTING DESIGNATION, FDN FOUNDATION, FF FINISH FLOOR, FLG FLANGE, FLR FLOOR, FT FOOT, FTG FOOTING, FV FIELD VERIFY, G GAGE, GALV GALVANIZED, HOR, HORIZ HORIZONTAL, HSS HOLLOW STRUCTURAL SHAPE, HT HEIGHT, IF INSIDE FACE, IN INCH, INFO INFORMATION, JT JOINT, K KIP (1 KIP = 1,000 LBS), KSI KIPS PER SQUARE INCH, L ANGLE, LL DOUBLE ANGLE, LB POUND, LF LINEAR FOOT, LLH LONG LEG HORIZONTAL, LLV LONG LEG VERTICAL, MAX MAXIMUM, MECH MECHANICAL, MFR MANUFACTURER, MIN MINIMUM, MISC MISCELLANEOUS, NF NEAR FACE, NO NUMBER, NS NEAR SIDE, NTS NOT TO SCALE, OC ON CENTER, OF OUTSIDE FACE, OPNG OPENING, OPP OPPOSITE, P PIER DESIGNATION, PL PLATE, PP PARTIAL PENETRATION WELD, PREFAB PREFABRICATED, PSF POUNDS PER SQUARE FOOT, PSI POUNDS PER SQUARE INCH, REINF REINFORCING STEEL, REQ, REOOD REQUIRED, RD ROOF DRAIN, SC SLIP CRITICAL, SECT SECTION, SHEATH SHEATHING, SIM SIMILAR, SOG SLAB-ON-GRADE, SPAC SPACING, SPECS SPECIFICATIONS, SS STAINLESS STEEL, STD STANDARD, STIFF STIFFENER, STL STEEL, STR STRAIGHT, STRUCT STRUCTURAL, T TOP, TAB TOP AND BOTTOM, TOC, T/CONC TOP OF CONCRETE, T/FTG, TOP TOP OF FOOTING, TEMP TEMPERATURE, T/SHLF TOP OF SHELF, TISLAB TOP OF SLAB, TIS/TL TOP OF STEEL, TIWALL TOP OF WALL, STRUCTURAL TUBING, TYP TYPICAL, UNO UNLESS NOTED OTHERWISE, VER, VERT VERTICAL, VIF VERIFY IN FIELD, W WITH, W/ STRUCTURAL STEEL WIDE FLANGE, W/O WITHOUT, WP WORK POINT, WT WEIGHT, WWF WELDED WIRE FABRIC



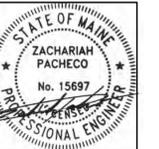
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Revision table with columns: REV#, REVISION, DATE. Row 1: 1, 90% PROGRESS SET, 08-28-2022



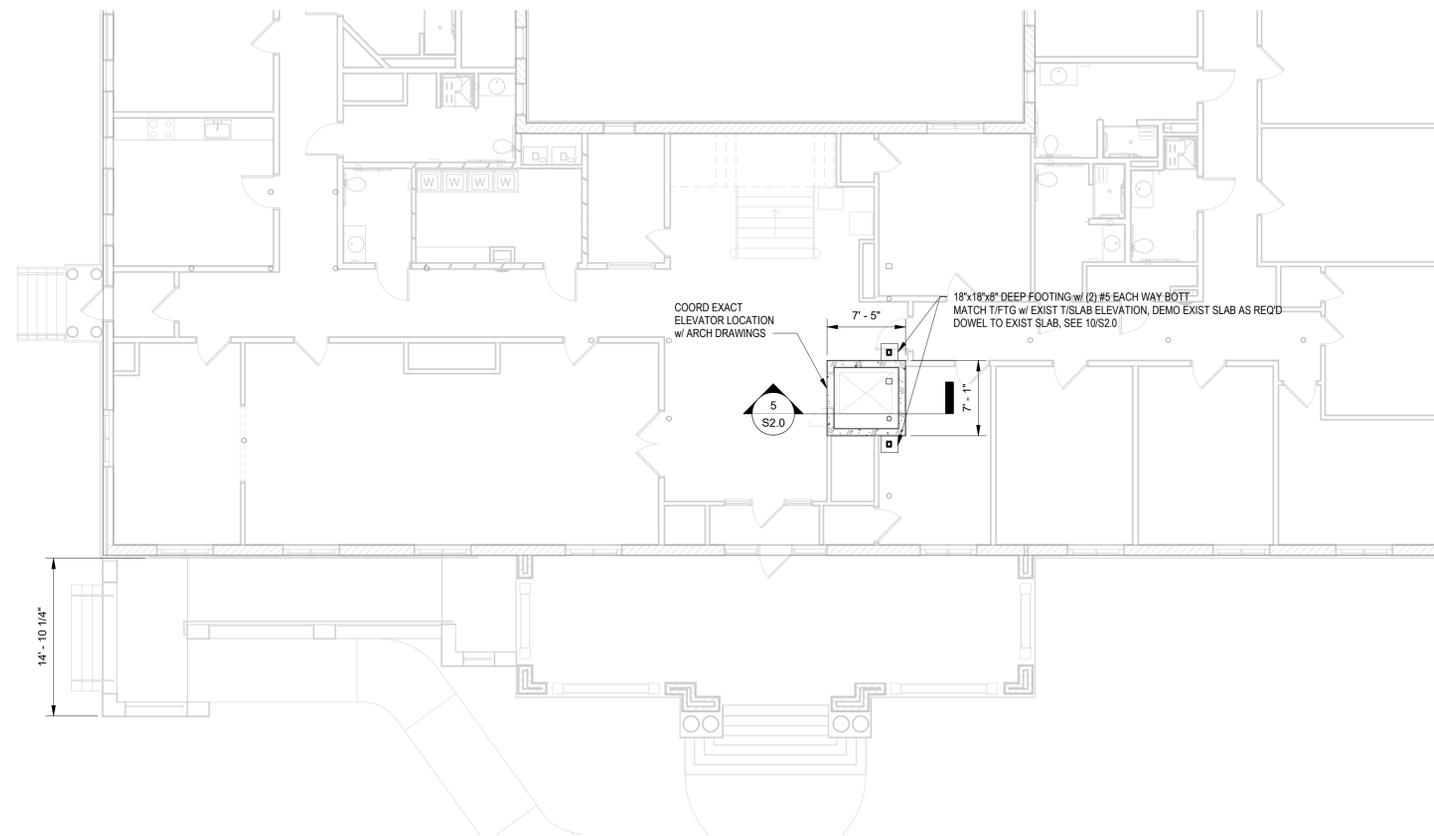
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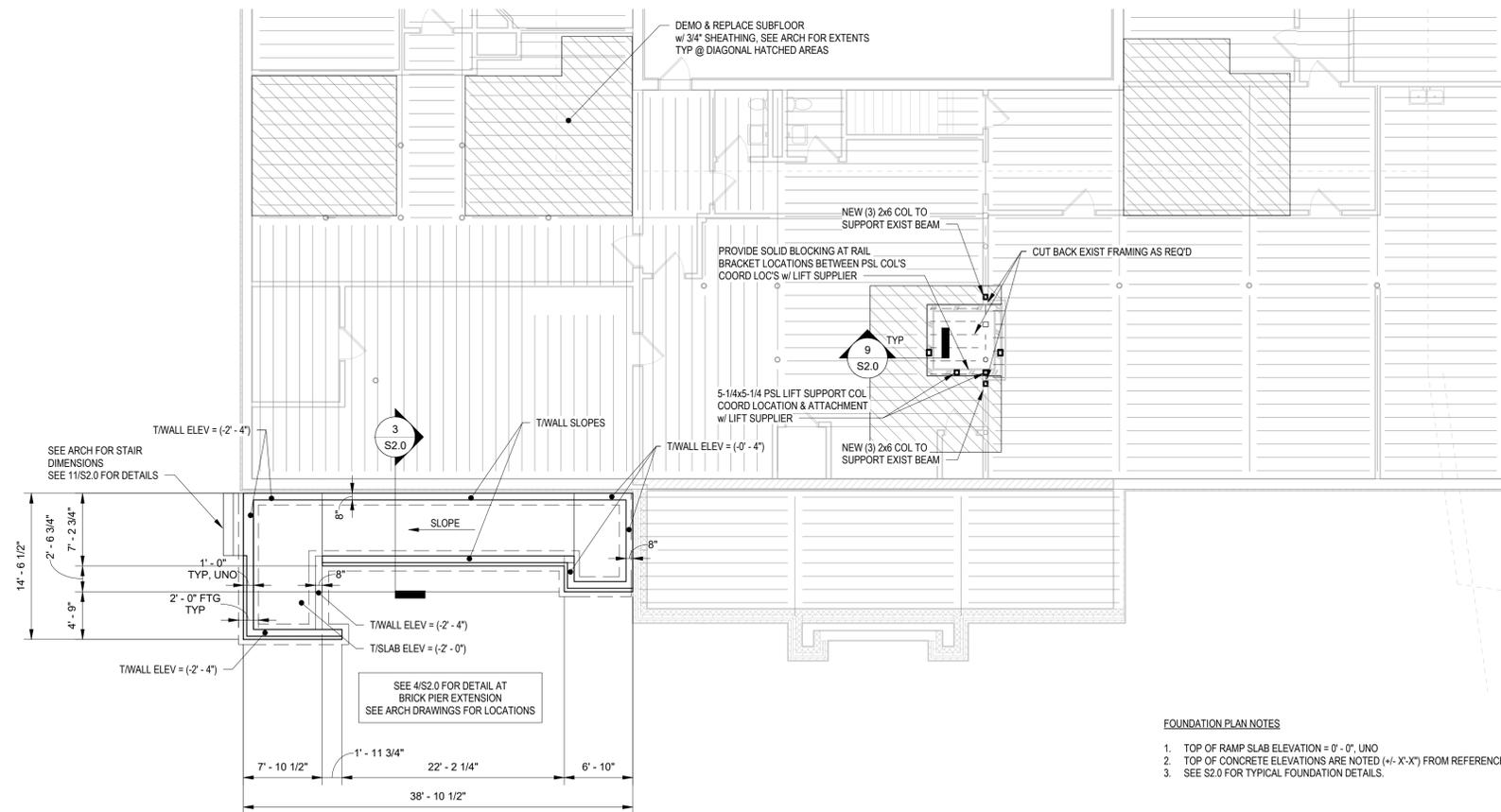
ISSUE 09/15/2023

TITLE STRUCTURAL NOTES

SHEET S0.0



1 FOUNDATION PLAN
1/8" = 1'-0"

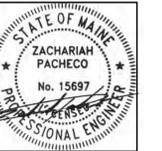


FOUNDATION PLAN NOTES

1. TOP OF RAMP SLAB ELEVATION = 0'-0"; UNO
2. TOP OF CONCRETE ELEVATIONS ARE NOTED (+/- 'X'-X") FROM REFERENCE ELEVATION.
3. SEE S2.0 FOR TYPICAL FOUNDATION DETAILS.

2 FIRST FLOOR FRAMING AND RAMP PLAN
1/8" = 1'-0"

REV #	REVISION	DATE
A	90% PROGRESS SET	08-28-2022
1		



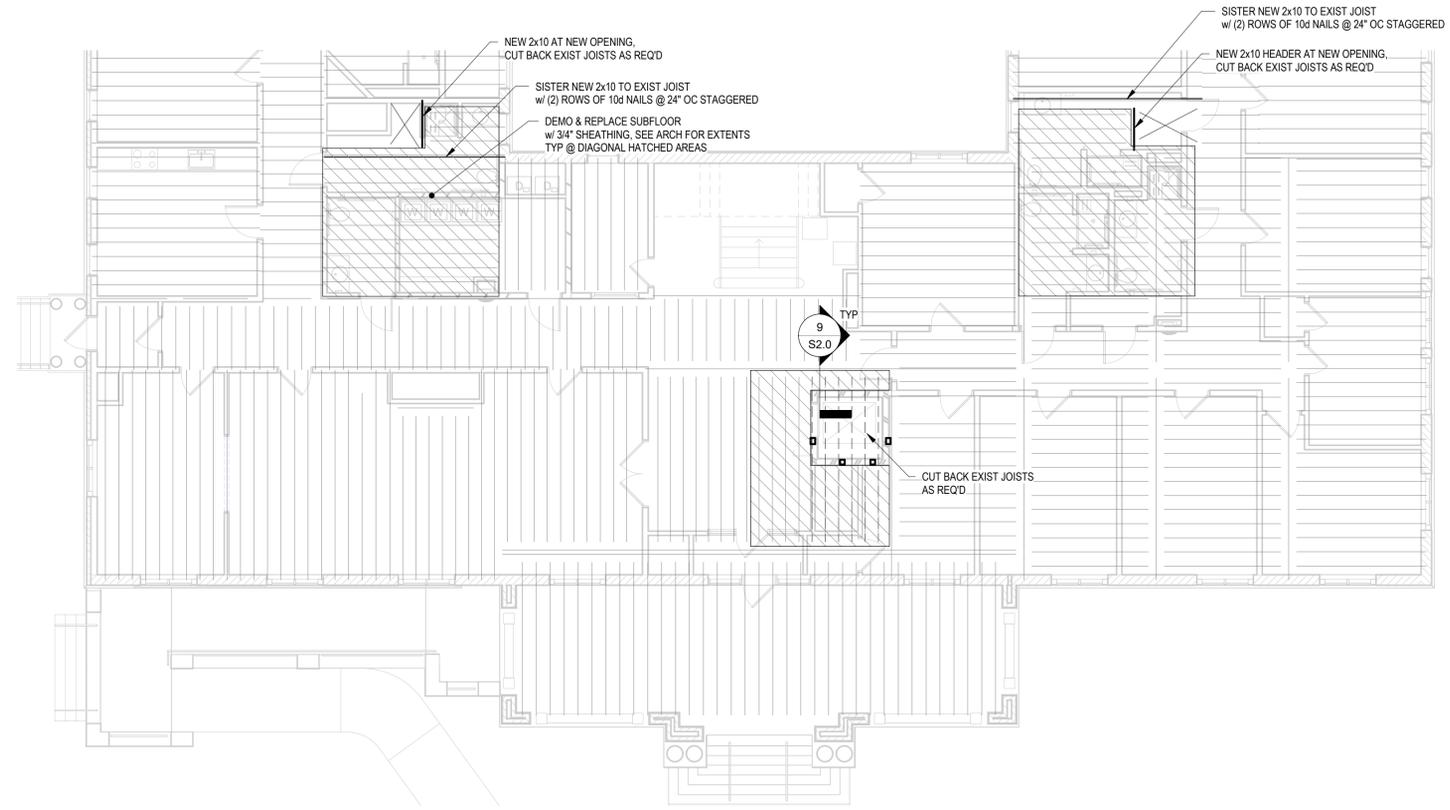
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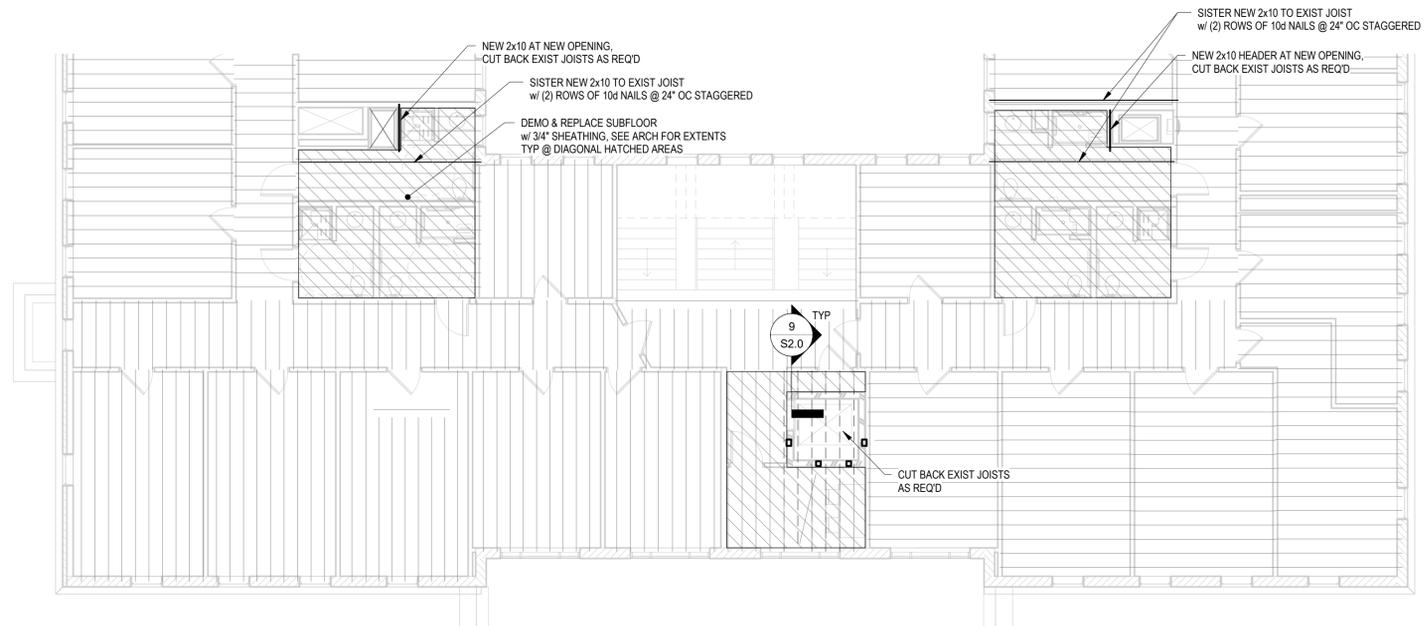
ISSUE
09/15/2023

TITLE
SECOND & THIRD
FLOOR FRAMING
PLANS

SHEET
S1.1



① SECOND FLOOR FRAMING PLAN
1/8" = 1'-0"



② THIRD FLOOR FRAMING PLAN
1/8" = 1'-0"

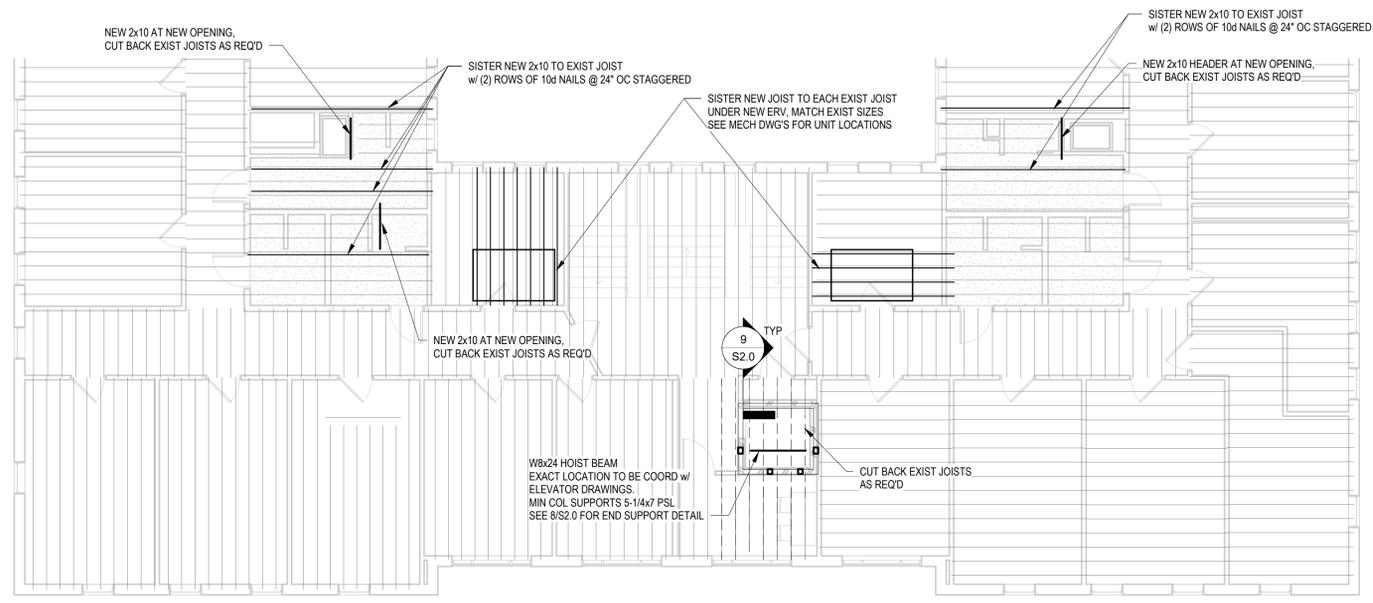
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4

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2

1



1 ATTIC FRAMING PLAN
1/8" = 1'-0"

D

C

E

A

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3

2

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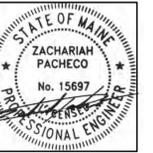
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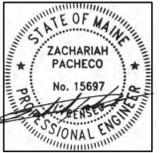
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TITLE
ATTIC FLOOR
FRAMING PLAN

SHEET
S1.2

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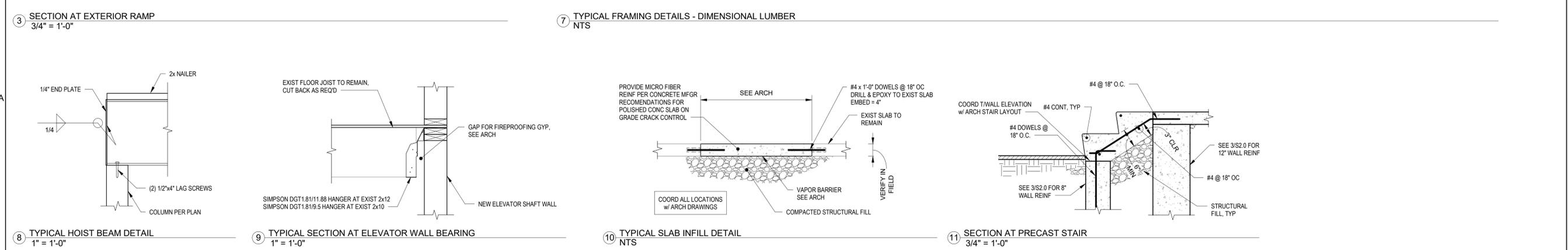
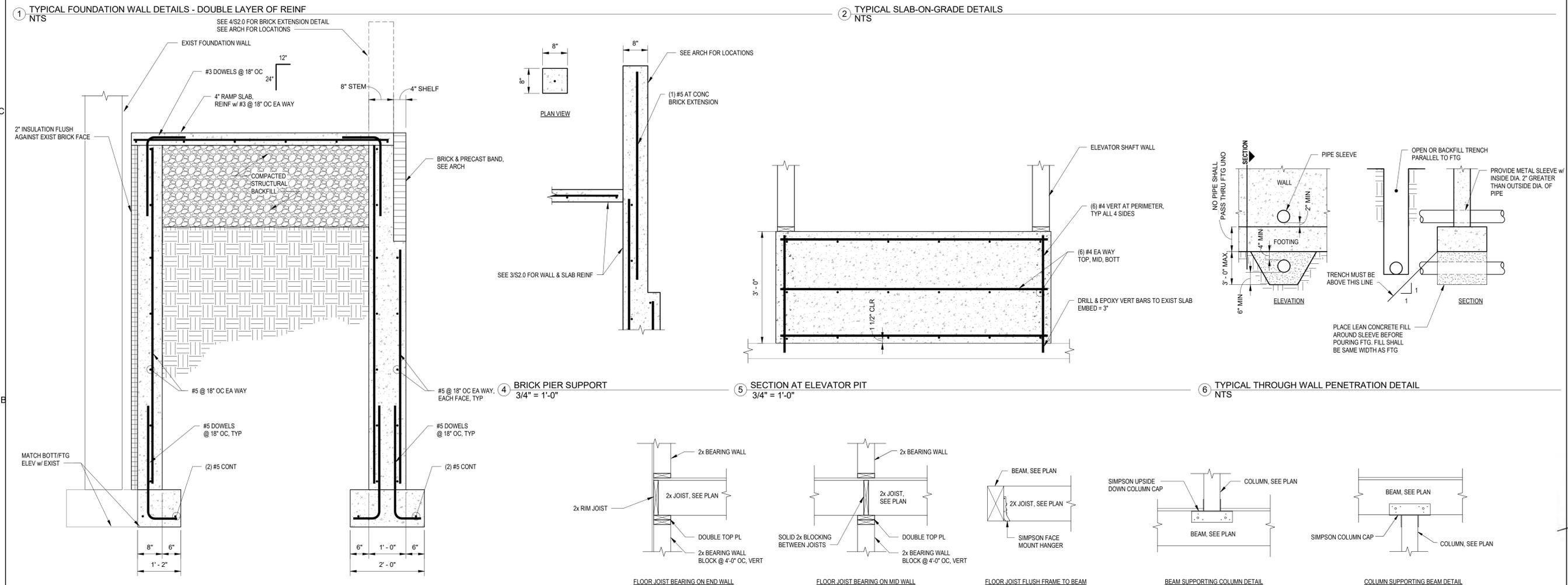
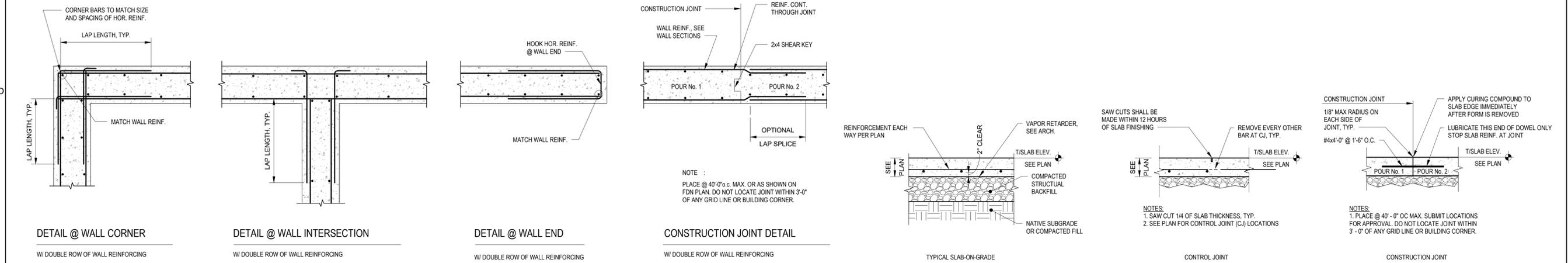
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09/15/2023

TITLE
TYPICAL FOUNDATION &
FRAMING DETAILS

SHEET
S2.0





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MALLETT HALL RENOVATION

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OWNER:

UNIVERSITY OF MAINE AT FARMINGTON

CHA Project No.
082184

DATE: 09/15/2023

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PROJECT GENERAL NOTES

- 1. THESE GENERAL NOTES ARE INTENDED TO COMPLEMENT THE CONTRACT DOCUMENTS. REFER TO THE CONTRACT DOCUMENTS FOR DETAILED INFORMATION AND ADDITIONAL REQUIREMENTS.
2. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL FEDERAL, STATE, AND LOCAL LAWS, STATUTES, ORDINANCES, CODES, RULES AND REGULATIONS, OR LAWFUL ORDERS OF PUBLIC AUTHORITY. PROMPTLY REPORT ANY NONCONFORMITY DISCOVERED TO THE ARCHITECT.
3. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF WORK BY THE CONTRACTOR AND TO PROVIDE A COMPLETE, FULLY OPERATIONAL BUILDING. PROVIDE ALL LABOR, MATERIALS AND INCIDENTALS NECESSARY TO ACHIEVE THIS INTENT.
4. FAILURE OF THE DRAWINGS OR SPECIFICATIONS TO INDICATE EACH INCIDENTAL SHALL NOT RELIEVE THE CONTRACTOR FROM PROVIDING THE NECESSARY ITEMS AS PART OF THIS CONTRACT. THE DRAWINGS SHOW THE DESIGN, LOCATION, DESCRIBE THE QUALITY LEVEL AND CONSTRUCTION TECHNIQUES IN A GENERAL SENSE ONLY.
5. ALL DETAILS ARE TYPICAL. WHAT IS SHOWN IN ONE CONDITION APPLIES TO ALL OTHER SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE.
6. VERIFY THE FOLLOWING ITEMS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK, AND PROCEED WITH THE WORK ONLY AFTER SUCH DISCREPANCIES ARE RESOLVED:
- EXISTING CONDITIONS
- WALLS, FLOORS, ROOFS, AND SUBSTRATES WHERE PRODUCTS AND SYSTEMS ARE TO BE INSTALLED.
- SIZE AND CONDITION OF WINDOW, DOOR, LOUVER, AND OTHER OPENINGS WHERE PRODUCTS AND SYSTEMS ARE TO BE INSTALLED.
- THE EXISTENCE, SIZE, AND LOCATION OF ALL EXISTING UTILITIES, MECHANICAL AND ELECTRICAL SYSTEMS.
- DISCREPANCIES BETWEEN OR WITHIN THE CONTRACT DOCUMENTS. UNSUITABLE SOILS; REPORT THE LOCATION OF ALL UNSUITABLE SOIL MATERIALS BELOW ANTICIPATED LEVELS OF FOOTINGS OR SLABS PRIOR TO SETTING FORMS.
- MECHANICAL, ELECTRICAL AND PLUMBING WHICH IMPACT CEILING INSTALLATION HEIGHTS OR BUILDING THE APPEARANCE. DIMENSIONAL DISCREPANCIES.
7. COORDINATE THE WORK OF ALL SUBCONTRACTORS.
8. DO NOT PENETRATE STRUCTURAL BEAMS, COLUMNS, OR SHEAR WALLS UNLESS SPECIFICALLY DETAILED OTHERWISE.
9. PROVIDE BOND-OUTS, BLOCKING, SLEEVES AND PIPES AS REQUIRED FOR ALL WALL, FLOOR, ROOF, AND CEILING PENETRATIONS. MAINTAIN CONTINUITY OF FIRE RATED ASSEMBLIES AND SMOKE ASSEMBLIES. SEAL ALL PENETRATIONS TO CONFORM TO U.L. RATED ASSEMBLIES AND ALL NFPA AND IBC REQUIREMENTS. REFER TO THE CODE PLANS FOR ADDITIONAL CODE REFERENCES.
- ALL PENETRATIONS SHALL COMPLY WITH THE ACOUSTICAL ASSEMBLY RATING REQUIRED FOR EACH WALL OR FLOOR ASSEMBLY.
10. COORDINATE THE WORK TO ACHIEVE THE GIVEN VISUAL AND PERFORMANCE REQUIREMENTS OF MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS WITHIN THE INDICATED SPACE.
11. PROVIDE WORK HOLES OR ADEQUATE ACCESS AS REQUIRED TO INSTALL NEW SYSTEMS IN CONCEALED SPACES.
12. PRODUCTS SHALL BEAR UL CLASSIFICATION WHERE REQUIRED BY DESIGN. DO NOT REMOVE OR PAINT OVER UL CLASSIFICATIONS.
13. DEFINITIONS:
- NEW: INDICATES ITEMS THAT SHALL BE FURNISHED AND INSTALLED BY THIS CONTRACT. TYPICALLY USED TO ENSURE CLARITY BETWEEN VARIOUS COMPONENTS OF THE DRAWINGS. NOT ALL ITEMS ARE LABELED AS "NEW" WHEN IT IS OBVIOUS BY OTHER INDICATION.
- EXISTING: EXISTING BUILDING OR SITE COMPONENTS WHICH ARE IN PLACE AT THE START OF CONSTRUCTION. NOT ALL ITEMS ARE LABELED AS "EXISTING" WHEN IT IS OBVIOUS BY OTHER INDICATION.
- REPAIR: RESTORE TO SUITABLE OR APPROPRIATE OPERATING AND AESTHETIC CONDITION.
- RESTORE: BRING BACK TO FORMER CONDITION, BY REPAIRING OR PATCHING AS REQUIRED.
- PATCH: RESTORE TO CONDITION MATCHING EXISTING ADJACENT CONSTRUCTION, SURFACE TEXTURE AND FINISH.
- N.I.C. (NOT IN CONTRACT): WORK WHICH IS NOT INCLUDED IN THIS CONTRACT, BUT WHICH MAY REQUIRE CONTRACTOR COORDINATION.
- REMOVE: DISMANTLE AND/OR EXTRACT FROM THE PREMISES ENTIRELY. DISPOSE OF OFF OF THE SITE UNLESS NOTED OTHERWISE.
- REPLACE: DISMANTLE AND/OR EXTRACT FROM THE PREMISES ENTIRELY. DISPOSE OF OFF OF THE SITE UNLESS NOTED OTHERWISE. PROVIDE NEW MATERIAL AS INDICATED.
- DAMAGES: EXISTING BUILDING OR SITE COMPONENTS, NOT SCHEDULED FOR WORK, WHICH ARE DAMAGED. SUCH ELEMENTS AND COMPONENTS SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION BY METHODS APPROVED BY THE ARCHITECT.
- DEMOLISH: DISMANTLE AND/OR EXTRACT FROM THE PREMISES ENTIRELY. DISPOSE OF OFF OF THE SITE UNLESS NOTED OTHERWISE.
- SALVAGE: REMOVE AND REINSTALL OR REMOVE AND DELIVER TO THE OWNER, AS INDICATED. SALVAGED COMPONENTS MAY BE FOR LIMITED REUSE, TO MATCH EXISTING CONDITIONS OR TO PATCH AND REPAIR AS INDICATED.

CEILING NOTES

- 1. CEILING PLANS DO NOT SHOW EVERY FIXTURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
2. CENTER GRID LAYOUT IN ALL ROOMS UNLESS NOTED OTHERWISE.
3. ALL COMPONENTS MOUNTED IN OR BELOW A SUSPENDED ACOUSTIC CEILING SHALL BE CENTERED IN THE CEILING TILE OR IN THE 2X2 PORTION OF REGULAR CEILING TILES. UNLESS NOTED OTHERWISE, THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, LIGHT FIXTURES, DIFFUSERS, SPEAKERS, SMOKE DETECTORS, AND SPRINKLER HEADS.
4. PRIOR TO THE INSTALLATION OF CEILINGS, ALLOW FOR AN ABOVE-CEILING REVIEW OF COMPONENTS THAT WILL NOT BE VISIBLE WHEN THE CEILINGS HAVE BEEN INSTALLED, INCLUDING INSPECTION OF FIRE, SMOKE, AND ACOUSTICAL SEPARATIONS.

GENERAL DEMOLITION AND REMOVAL NOTES

- 1. THE DEMOLITION DRAWINGS PROVIDE GENERAL COORDINATION INFORMATION ONLY, AND ARE SCHEMATIC IN NATURE. THEY DO NOT IDENTIFY ALL INDIVIDUAL ITEMS TO BE REMOVED. REMOVE ANY EXISTING CONSTRUCTION WHICH IS IN THE WAY OF NEW CONSTRUCTION OR PROHIBITS THE NEW CONSTRUCTION.
2. VERIFY EXISTING STRUCTURAL CONDITIONS PRIOR TO DEMOLITION OR REMOVALS. PROTECT FROM DAMAGE AND WEATHER ANY EXISTING BUILDING COMPONENTS, WHICH ARE EXPOSED AS A RESULT OF DEMOLITION OR REMOVALS.
3. COORDINATE AND SCHEDULE WORK IN EXISTING OCCUPIED PORTIONS OF THE BUILDING WITH THE OWNER.
4. NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERY OF POTENTIALLY HAZARDOUS MATERIAL OR SUBSTANCE NOT ADDRESSED IN THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO ASBESTOS, PCB, LEAD, MERCURY, AND MOLD. DO NOT DISTURB HAZARDOUS MATERIALS. HAZARDOUS MATERIAL SHALL BE LEGALLY ABATED, TRANSPORTED, AND DISPOSED OF.
5. CONCRETE SLAB REMOVALS MAY BE REQUIRED THROUGHOUT THE EXISTING BUILDING AND MAY NOT BE SHOWN ON THE DEMOLITION DRAWINGS. COORDINATE THE EXTENT OF SLAB REMOVALS WITH STRUCTURAL, MECHANICAL AND ELECTRICAL PLANS. CONTRACTOR TO VERIFY LOCATION OF EXISTING SUB-SLAB FOOTINGS AND SUB-SLAB UTILITIES; NOTIFY OWNER/ARCHITECT IF NEW TRENCH CONFLICTS. CUT TRENCHES IN EXISTING CONCRETE FLOORS WITH NO MORE THAN A 1/2 SLOPE. PROVIDE AN UNDER-SLAB VAPOR RETARDER AT SLABS ON GRADE. REFER TO STRUCTURAL DRAWINGS FOR REINFORCEMENT REQUIREMENTS. PATCH CONCRETE TO MATCH ADJACENT THICKNESS AND FINISH PRIOR TO THE INSTALLATION OF UNDERLAYMENT OR NEW FINISHES.
6. REMOVAL OF MATERIALS SHALL BE DONE WITHOUT DISTURBING ADJACENT SURFACES OR THE CURRENT CONDITION OF OTHER BUILDING ELEMENTS INTENDED TO REMAIN.
7. WHERE DEMOLITION OF ITEMS (I.E. WIRING, CONDUIT, PIPING, ATTACHED CASEWORK, ETC.) LEAVES HOLES, VOIDS OR DAMAGE TO EXISTING BUILDING ELEMENTS THAT SHALL REMAIN, GC SHALL PATCH AND REPAIR TO MATCH ADJACENT SURFACES.
8. THE OWNER SHALL REMOVE FURNITURE AND OTHER MOVABLE AND/OR FIXED EQUIPMENT PRIOR TO NEW WORK IN ANY AREA, EXCEPT FOR MECHANICAL, ELECTRICAL OR MINOR WORK NOT REQUIRING THE OWNER TO COMPLETELY VACATE THE PREMISES. NOTIFY THE OWNER OF THE SCHEDULE FOR NEW WORK AND EXTENT OF OWNER REMOVALS NECESSARY.
9. WHERE WALL REMOVAL IS CALLED FOR:
- SURFACE FINISHES MAY INCLUDE, BUT ARE NOT LIMITED TO: GWB, CERAMIC TILE, FRL PANELS AND WOOD PANELS.
- SCOPE INCLUDES EQUIPMENT AND/OR ACCESSORIES MOUNTED ON WALL, UNLESS NOTED FOR SALVAGE
10. WHERE FINISH FLOOR REMOVAL IS CALLED FOR, SURFACES MAY INCLUDE, BUT ARE NOT LIMITED TO: CERAMIC TILE, CONCRETE SHOWER PANS AND CARPET.
11. REMOVE DAMAGED AND/OR DISCARDED BUILDING CONSTRUCTION MATERIAL FROM CONCEALED SPACES. PRIOR TO CLOSING-OR SEALING-OFF CONCEALED SPACES, THE CONTRACTOR SHALL ALLOW FOR A REVIEW OF COMPONENTS WHICH WILL NOT BE VISIBLE WHEN THE SPACES HAVE BEEN SEALED.
12. DEMOLITION OF MATERIALS IS THE PROPERTY OF THE CONTRACTOR, UNLESS NOTED OTHERWISE, AND SHALL BE LEGALLY DISPOSED OF. ALL THE SURFACES SHALL BE FINISHED TO MATCH.
13. ALL ELECTRICAL, PLUMBING AND MECHANICAL LOCATED IN WALLS AND CEILINGS NOTED TO BE REMOVED SHALL BE EITHER REMOVED BACK TO THE SOURCE OF HARM LOCATED OUT OF HARM'S WAY, FOR RELOCATIONS IN NEW CONSTRUCTION, GC TO COORDINATE WITH MANAGEMENT, OR FINISHED TO MATCH.
14. MAINTAIN FIRE RATINGS, SMOKE TIGHTNESS, AND ACOUSTICAL RATINGS. DRAWINGS FOR ADDITIONAL DEMOLITION SCOPE.
15. PROVIDE MECHANICAL VAPOR BARRIERS AT ALL ABANDONED ELECTRICAL, MECHANICAL AND CIVIL WORK WILL REQUIRE INTERVENTION BEYOND LIMIT OF WORK AREAS.
16. GC CHALL CAP AND SEAL ALL WATER, SANITARY AND GAS PIPING THAT IS NOT TO BE RE-USED OR RE-PURPOSED AND COORDINATE THE SAME WITH SITE UTILITIES.
17. PROTECT ALL OPENINGS IN THE ROOF. PROVIDE TEMPORARY BRACING IF ALL DIMENSIONS ON DEMOLITION PLANS AREA APPROXIMATE (+/-). GO TO VERIFY DIMENSIONS IN THE FIELD AND CONSULT ARCHITECT/ENGINEER IN CASE OF ANY CONFLICT OR QUESTION.
18. PROVIDE FLASHING AT ALL ROOF PENETRATIONS. PENETRATIONS MAY NOT BE INDICATED ON THE ROOF PLAN. REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL PLANS FOR NUMBER, LOCATION, AND SIZE OF PENETRATIONS.
19. PROVIDE A 2 FEET WIDE WALKWAY WITH PROTECTION STRIPS ENTIRELY AROUND ALL ROOF TOP MECHANICAL UNITS AND CREATE A PROTECTION STRIP PATHWAY, 2 FEET WIDE, FROM THE ROOF ACCESS LOCATION(S) TO EACH MECHANICAL UNIT.
20. PROTECT ROOFING MATERIALS FROM CONSTRUCTION OPERATIONS.
21. PROVIDE CURBS AND PRESSURE TREATED WOOD BLOCKING AS REQUIRED FOR ALL ROOF MOUNTED EQUIPMENT, UNLESS NOTES OTHERWISE.

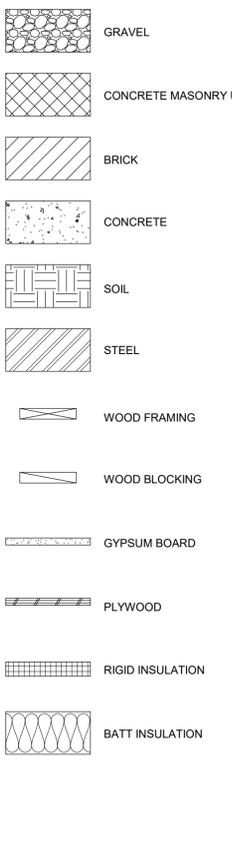
GENERAL ARCHITECTURAL NOTES

- 1. THE DRAWINGS USE A SYSTEM OF KEYED NOTES ON PLANS, ELEVATIONS AND DETAILS. INSTRUCTIONS FOR SPECIFIC COMPONENTS OF THE WORK ARE KEYED TO THE DRAWINGS. BUILDING SYSTEMS (PARTITIONS, ROOF & FOUNDATION) ARE KEYED TO FLOOR PLANS, WALL SECTIONS, ROOF PLAN AND OTHER DETAILS AS APPROPRIATE.
2. MAINTAIN MINIMUM MANEUVERING CLEARANCES AT DOORS IN COMPLIANCE WITH THE ADA ACCESSIBILITY GUIDELINES (ADAAG), INCLUDING BUT NOT LIMITED TO THE FOLLOWING EXCERPT FROM 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN:
404.2.4.1 Swinging Doors and Gates. Swinging doors and gates shall have maneuvering clearances complying with Table 404.2.4.1.
Table 404.2.4.1 Maneuvering Clearances at Manual Swinging Doors and Gates
Type of Use Minimum Maneuvering Clearance
Approach Direction Door or Gate Side Perpendicular to Doorway Parallel to Doorway (beyond latch side unless noted)
From front Pull 60 inches (1525 mm) 18 inches (455 mm)
From front Push 48 inches (1220 mm) 0 inches (0 mm)
From hinge side Pull 60 inches (1525 mm) 36 inches (915 mm)
From hinge side Push 54 inches (1370 mm) 42 inches (1065 mm)
From hinge side Push 42 inches (1065 mm) 22 inches (560 mm)
From latch side Pull 48 inches (1220 mm) 24 inches (610 mm)
From latch side Push 42 inches (1065 mm) 24 inches (610 mm)
3. ALL MOUNTING HEIGHTS AND CLEARANCES AT TOILET ROOMS AND ELSEWHERE SHALL COMPLY WITH THE LATEST VERSION OF THE ADA ACCESSIBILITY GUIDELINES (ADAAG).
4. BARRIER-FREE CLEARANCES ARE GIVEN. THESE CLEAR DIMENSIONS SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
5. ALL DIMENSIONS GIVEN FOR FIXTURE AND ACCESSORY LOCATIONS ARE CLEAR DIMENSIONS FROM FINISHED SURFACES, UNLESS NOTED OTHERWISE. COORDINATE ACTUAL DIMENSIONS WITH WALL CONSTRUCTION AND FINISHES.
6. LOCATE ALL CONTROLS, FLUSH VALVES, SHUTOFFS AND SIMILAR ITEMS IN ACCORDANCE WITH THE LATEST VERSION OF THE ADA ACCESSIBILITY GUIDELINES (ADAAG).
7. SOME ITEMS MAY INDICATE A RANGE IN MOUNTING HEIGHT. MAINTAIN A CONSISTENT MOUNTING HEIGHT, WITHIN THE GIVEN RANGE, THROUGHOUT THE PROJECT, UNLESS NOTED OTHERWISE.
8. MAINTAIN CLEAR DIMENSIONS IN ACCORDANCE WITH THE LATEST VERSION OF THE ADA ACCESSIBILITY GUIDELINES (ADAAG).
9. ALL GRAB BAR COMPONENTS SHALL BE ABLE TO WITHSTAND A LOAD OF 250LBS AT ANY POINT.
10. INSTALL BLOCKING BEHIND ALL SURFACE-APPLIED FIXTURES, TRIM, GRAB BARS, SHELVES, CHAIR RAILS, PICTURE RAILS, BASE MOLDINGS, TACK OR MARKER BOARDS, WINDOW TREATMENT, WALL OR BASE CABINETS OR COUNTERS, AND MISCELLANEOUS ACCESSORIES MOUNTED ON STUD WALLS.
11. ALL EXPOSED WOOD NOT INDICATED TO BE PAINTED SHALL BE NATURAL FINISH (CLEAR).
12. FLOORING AND FLOOR FINISHES SHALL BE INSTALLED TO A MAXIMUM DIFFERENTIAL OF 1/16" BETWEEN DISSIMILAR MATERIALS. PROVIDE TRANSITION STRIPS OR THRESHOLDS (1/2" MAXIMUM) OF SAME MATERIAL AS FLOORING AND/OR AS NOTED ON THE DRAWINGS, BETWEEN DISSIMILAR FLOORING MATERIALS.
13. PATCH AND LEVEL EXISTING SUBFLOORS TO RECEIVE NEW FLOOR FINISHES AS INDICATED IN THE ROOM FINISH SCHEDULE.
14. ALL EXPOSED PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT.
15. INSTALL 2 COAT HOOKS CENTERED ON THE INSIDE OF SINGLE USER TOILET ROOM DOORS, MOUNTED AT 48" AFF AND 60" AFF.
VERTICAL CIRCULATION GENERAL NOTES
1. ALL HANDRAIL AND GUARDRAIL COMPONENTS SHALL BE ABLE TO WITHSTAND A HORIZONTAL LOAD OF 250 POUNDS AT ANY POINT.
2. GUARDRAILS SHALL NOT ALLOW THE PASSAGE OF A 4-INCH SPHERE BETWEEN MEMBERS.
3. ALL RAMP, STAIR, LADDER, ALTERNATING TREAD DEVICE, HANDRAIL AND GUARDRAIL COMPONENTS SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF THE LATEST VERSION(S) IBC, NFPA 101, AND THE ADA.

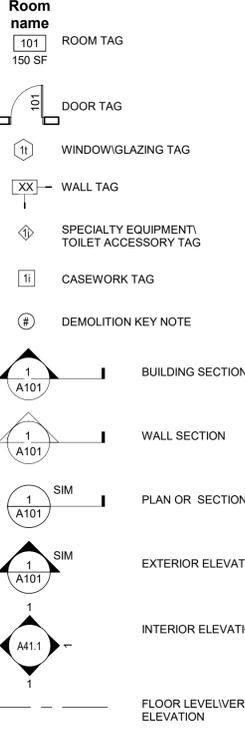
ABBREVIATIONS

Table listing abbreviations for building materials and components. Columns include abbreviations (e.g., AB, AC, ACT, ADDL, ADJ, ADO, AFF, AH, ALT, ALUM, AOR, APPROX, ARCH, AROND, AVB, BD, BF, BIT, BLDG, BLKG, BM, BOT, BO, BRK, BRG, B/S, BSMT, C, CAB, C/B, CC, CF, CFMF, CJ, CL, CLG, CLR, CMT, CMU, CO, COL, CONC, CONT, CONTR, CPT, CS, CSMT, CT, CWT, CUH, DBL, DC, DEMO, DF, DIA, DIM, DIV, DMP, DOW, DR, DTL, DWG, DWR, E, EA, EF, EMHO, EIFS, EJ, EL, EP, ELEC, ELEV, EMER, ENCL, EQ, EQUIP, EXH, EXIST, EXT, EW, EWC, FB, FBO, FCS, FD, FE, FFC, FG, FHVC, FIN, FIN GR, FLR, FNDN, FP, FO, FRMG, FRP, FRT, FSR, FT, FTG, FTR, FUR, FV, FWC, GA, GALV, GB, GFB, GL, GWB, HARD, HB, HC, HD, HDO, HDWD, HDWR, HW, HORIZ, HR, HS, HT, HTG, HVAC, IBC, ID, IN, INCL, INFO, INSUL, INT, INV, JT, KIT, LAB, LAM, LAV, LB, LCC, LF, LH, MAS, MATL, MAX, MC, MDO, MECH, MED, MFR, MH, MIN, MISC, MLDG, MO, MR, MRGB, MS, MTL, N, NA, NIC, NO, NOM, NRC, NTS, O/, OC, OD, OP, OPH, OPNG, OPP, P, PTD, PC, PD, PERF, PERIM, PRKG, PL, PLAN, PLYWD, PSF, PSI, PT, PTN, PVC, PVMT, QR, QT, RE, REF, REQ'D, REV, RL, RF, RH, RM, RO, ROW, S, SC, SCHED, SD, SECT, SF, SGL, SH, SHEET, SHTHG, SIM, SLNT, SNR, SP, SPEC, SPKR, SQ, SS, STC, STD, STL, STOR, STRUCT, SUPT, SUSP, SV, T, TB, T&G, TGL, THK, TO, TP, TPD, TV, TYP, UNO, VB, VC, VCT, VERT, VPW, VWC, W, WI, WC, WD, WGL, WH, W/O, WS, WP, WWF, YD, ZCC, JOINT, KITCHEN, LABORATORY, LAMINATE (D), LAVATORY, LEAD COATED COPPER, LINEAR FOOT, LEFT HAND, MASONRY MATERIAL, MAXIMUM, MEDICINE CABINET, MEDIUM DENSITY OVERLAY, MECHANICAL, MEDIUM MEMBRANE FLASHING, MANUFACTURER, MANHOLE, MINIMUM, MISCELLANEOUS, MOLDING, MOLDING, MASONRY OPENING, MOISTURE RESISTANT, MOISTURE RESISTANT GYPSUM BOARD, MOP SINK, METAL, NORTH, NOT APPLICABLE, NOT IN CONTRACT, NUMBER, NOMINAL, NOISE REDUCTION COEFFICIENT, NOT TO SCALE, OVER, ON CENTER, OUTSIDE DIAMETER, OPAQUE, OVERHEAD, OPPOSITE HAND, OPENING, OPPOSITE, PAINT, PRECAST CONC., PAPER TOWEL DISPENSER, PERFORATED, PERIMETER, PARKING, PLATE, PLASTIC LAMINATE, PLYWOOD, POUNDS PER SQUARE FOOT, POUNDS PER SQUARE INCH, PRESSURE TREATED, PARTITION, POLYVINYL CHLORIDE, PAVEMENT, QUARTER ROUND, QUARRY TILE, REFERENCE, REFRIGERATOR, REQUIRED, REVISION (S), REVISED, RAIN LEADER, RUBBER FLOOR, RIGHT HAND, ROOM, ROUGH OPENING, RIGHT OF WAY, SOUTH, SOLICIT, CORE, SCHEDULE, SOAP DISPENSER, SECTION, SQUARE FOOT, SAFETY GLASS, SHOWER, SHEET, SHEATHING, SIMILAR, SEALANT, SANITARY NAPKIN RECEPTOR, SPECIAL PAINT, SPECIFICATION, SPEAKER, SQUARE, STAINLESS STEEL, SOUND TRANSMISSION CLASS, STANDARD, STEEL, STORAGE, STRUCTURE/STRUCTURAL, SUPPORT, SUSPENDED, SHEET VINYL, TOILET, TOWEL BAR, TONGUE AND GROOVE, TEMPERED GLASS, THICKNESS, TOP OF, TOILET PARTITION, TOILET PAPER DISPENSER, TELEVISION, TYPICAL, UNLESS NOTED OTHERWISE, VAPOR BARRIER/VINYL BASE, VALVE CABINET, VINYL COMPOSITION TILE, VERTICAL, VENEER PLYWOOD, VINYL WALL COVERING, WEST, WITH, WATER CLOSET, WOOD, WIRE GLASS, WATER HEATER, WITHOUT, WATERSTOP, WATERPROOF, WELDED WIRE FABRIC, WELDED WIRE MESH, YARD, ZINC-COATED COPPER

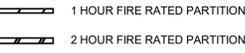
MATERIALS LEGEND



SYMBOLS



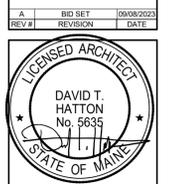
FIRE RATINGS



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MALLETT HALL RENOVATION 180 HIGH ST. FARMINGTON, ME 04086 UNIVERSITY OF MAINE AT FARMINGTON



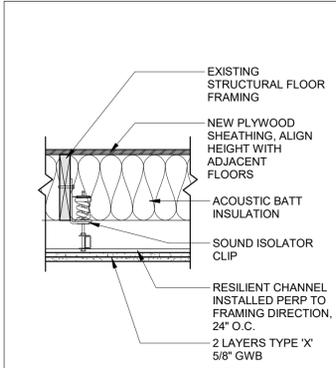
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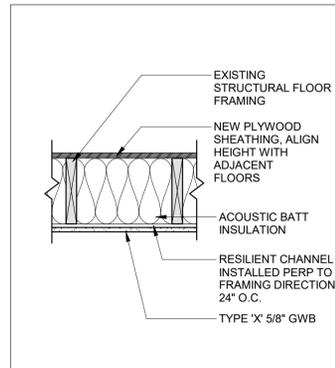
ISSUE 09/15/2023

TITLE GENERAL NOTES & MATERIALS LEGEND

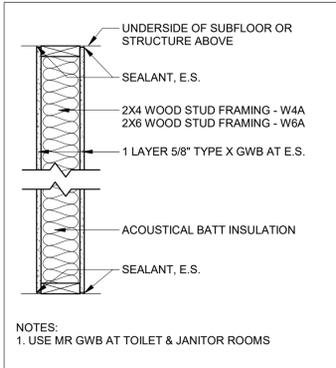
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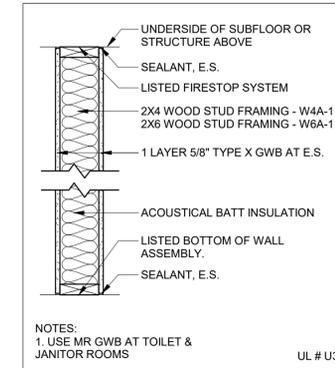
FLOOR/CEILING ASSEMBLY
1 HOUR RATED (WHERE ADJ. TO DORM UNITS)
F2
UL: L502



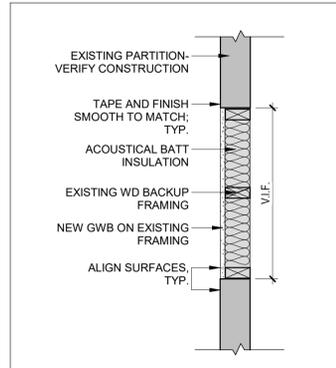
FLOOR/CEILING ASSEMBLY
1 HOUR RATED
F1
UL: L502



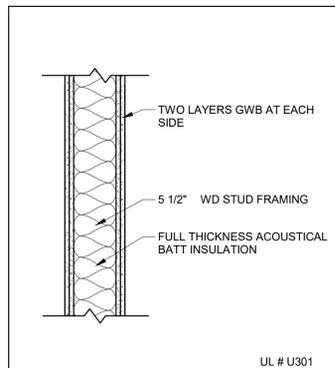
WOOD STUD PARTITION
FULL HEIGHT
W4A
W6A



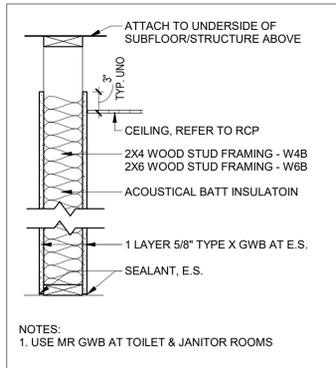
WOOD STUD PARTITION
FULL HEIGHT
1-HOUR FIRE-RATED
W4A-1
W6A-1



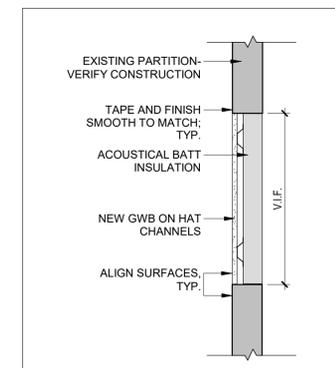
WOOD STUD PARTITION
INFILL - GWB ONE SIDE
IN-1



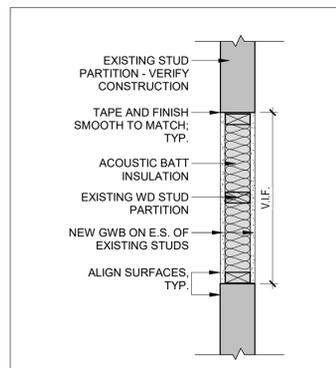
WOOD STUD
FULL HEIGHT
2-HOUR FIRE-RATED
W6A-2



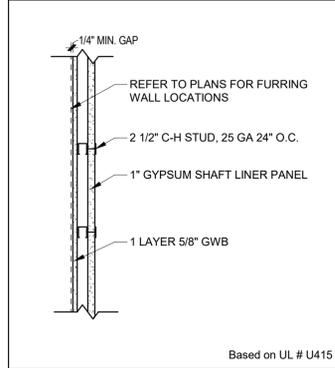
WOOD STUD PARTITION
PARTIAL HEIGHT
W4B
W6B



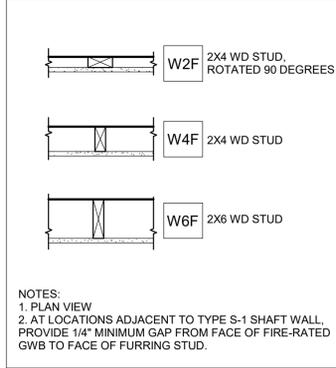
EXTERIOR WALL FURRING
INFILL - GWB ONE SIDE
IN-4



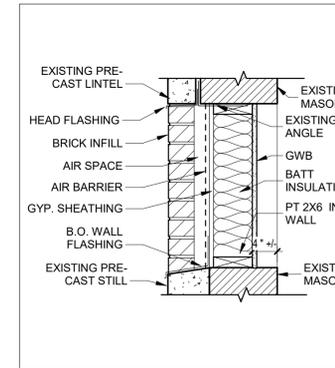
WOOD STUD PARTITION
INFILL - GWB TWO SIDES
IN-2



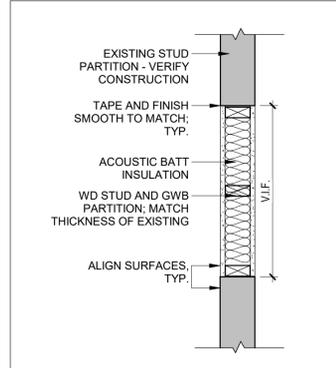
SHAFT WALL ASSEMBLY
FULL HEIGHT
1-HOUR FIRE-RATED
S-1



WOOD STUD FURRING
EXTEND GWB 3" ABOVE FIN. CLG. U.N.O.



INFILL BRICK WALL @
EXISTING WINDOW
IN-5

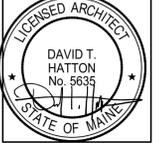


WOOD STUD PARTITION
INFILL
IN-3

WALL SYSTEMS

- PARTITIONS SHALL EXTEND FROM SUB-FLOOR OR SLAB TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE, UNLESS NOTED OTHERWISE.
- GYPSUM BOARD APPLIED TO WALLS SHALL BE APPLIED WITH THE BOTTOM EDGE SPACED NOT LESS THAN 1/4" ABOVE THE FLOOR. INSTALL A CONTINUOUS BEAD OF ACOUSTICAL SEALANT UNDER EACH LAYER OF GWB AT THE INTERSECTION WITH FLOOR, ON EACH SIDE OF THE WALL.
- ALL TOP-OF-WALL CONDITIONS SHALL BE SEALED TO THE DECK ABOVE, UNLESS NOTED OTHERWISE. MAINTAIN THE REQUIRED FIRE RATINGS, SMOKE RATINGS, AND ACOUSTICAL RATINGS. COORDINATE THE TOP OF WALL CONSTRUCTION WITH THE STRUCTURAL FRAMING.
- INSTALL BLOCKING BEHIND ALL SURFACE-APPLIED FIXTURES, TRIM, GRAB BARS, SHELVES, WALL OR BASE CABINETS OR COUNTERS, AND MISCELLANEOUS ACCESSORIES MOUNTED ON STUD WALLS.
- FOR EXISTING WALLS SUPPORTING NEW ITEMS, VERIFY THE WALL TYPE PRIOR TO PERFORMING THE WORK TO DETERMINE APPROPRIATE TYPE OF ANCHOR UNLESS INDICATED OTHERWISE. CONSULT ARCHITECT FOR CLARIFICATION IF NEEDED.
- INSTALL MOISTURE RESISTANT (M.R.) GWB IN TOILET ROOMS, JANITOR'S CLOSETS, SHOWER ROOMS, KITCHENS, AND WALL AREAS WITHIN 8 FEET OF SINKS, AND OTHER DAMP OR HIGH HUMIDITY AREAS.
- PROVIDE WOOD-PRESERVATIVE TREATED LUMBER (PRESSURE TREATED) AT EXTERIOR WOOD FRAMING IN CONTACT WITH CONCRETE, WITHIN 18" OF THE GROUND, OR EXPOSED TO THE WEATHER SHALL BE.
- PROVIDE ACOUSTICAL INSULATION AT INTERIOR STUD WALL ASSEMBLIES UNLESS NOTED OTHERWISE.
- IDENTIFY ALL FIRE-RATED PARTITIONS BY STENCILING THE RATING ON EACH SIDE OF THE RATED WALLS ABOVE THE CEILING LINE WITH 4" HIGH LETTERS IN RED OR ORANGE PAINT; EACH RATED WALL SHALL BE IDENTIFIED AT LEAST ONCE AND AT A SPACING NOT GREATER THAN 12 FEET ON CENTER.

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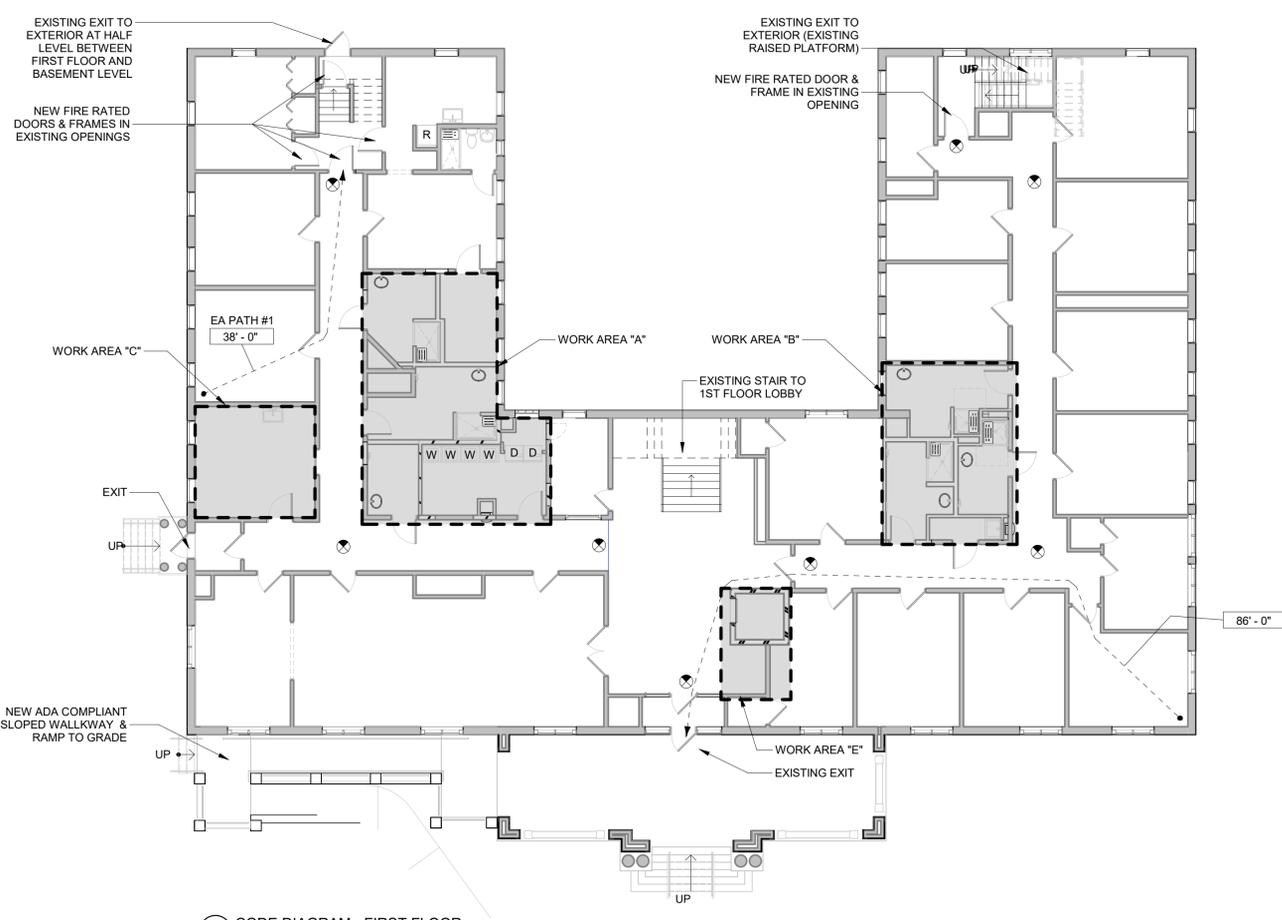
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09/15/2023

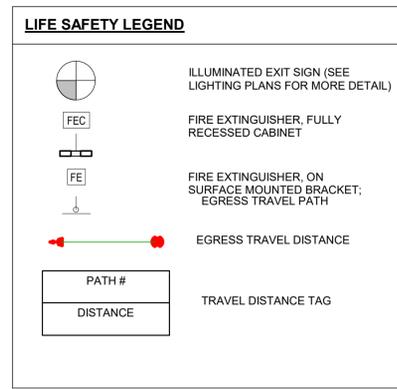
TITLE
TYPICAL
ASSEMBLIES

SHEET

A004



C5 CODE DIAGRAM - FIRST FLOOR
3/32" = 1'-0"



1. WHERE FE AND ILLUMINATED EXIT SIGNAGE EXIST, THEY SHALL REMAIN. WHERE NOT PROVIDED AT REQUIRED LOCATIONS, THEY SHALL BE ADDED.
2. SEE ALSO ELECTRICAL POWER PLANS FOR EMERGENCY EGRESS AND FIRE ALARM DESIGN

BUILDING CODE SUMMARY

PROJECT DESCRIPTION: FARMINGTON HALL WAS CONSTRUCTED IN 1927 AS A DORMITORY FOR THE FARMINGTON NORMAL SCHOOL WHICH IS NOW THE UNIVERSITY OF MAINE AT FARMINGTON. MULTIPLE INTERIOR RENOVATIONS HAVE OCCURRED IN THE BUILDING OVER THE PAST CENTURY, PRIMARILY FOCUSED ON CONTINUAL MODERNIZATION OF MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS. THE CURRENT BUILDING HAS CONTAINS MEP SYSTEMS FROM SEVERAL GENERATIONS OF PAST RENOVATIONS.

THE PROPOSED WORK IS FOCUSED ON (1) MODERNIZING THE RESIDENCE HALL BATHROOM EXPERIENCE, (2) REPLACING MEP INFRASTRUCTURE RELATED TO THE BATHROOMS AND (3) MAKING THE BUILDING MORE ACCESSIBLE. INFILL OF FOUR WINDOWS AND NEW OPENINGS FOR MECHANICAL PENETRATIONS ARE THE ONLY PROPOSED WORK AFFECTING THE BUILDING ENVELOPE.

CODE APPROACH: THE EXISTING CONSTRUCTION IS ASSUMED TO BE CLASSIFIED AS TYPE 3B BY IBC AND AS TYPE II (0.0.0) BY NFPA. PROPOSED WORK DOES NOT DIRECTLY IMPACT ANY EGRESS PATH OR EXISTING EXIT. NO CHANGE OF USE IS PROPOSED. OVERALL OCCUPANCY WILL BE REDUCED BY 4 BEDS (2-2ND, 2-3RD) DUE TO LOCATION OF NEW LULA. ALL NEW WORK AT WORK AREAS WILL BE CONSTRUCTED TO CODES CURRENTLY IN PLACE.

AHJ: FARMINGTON, ME, MAINE STATE FIRE MARSHALL

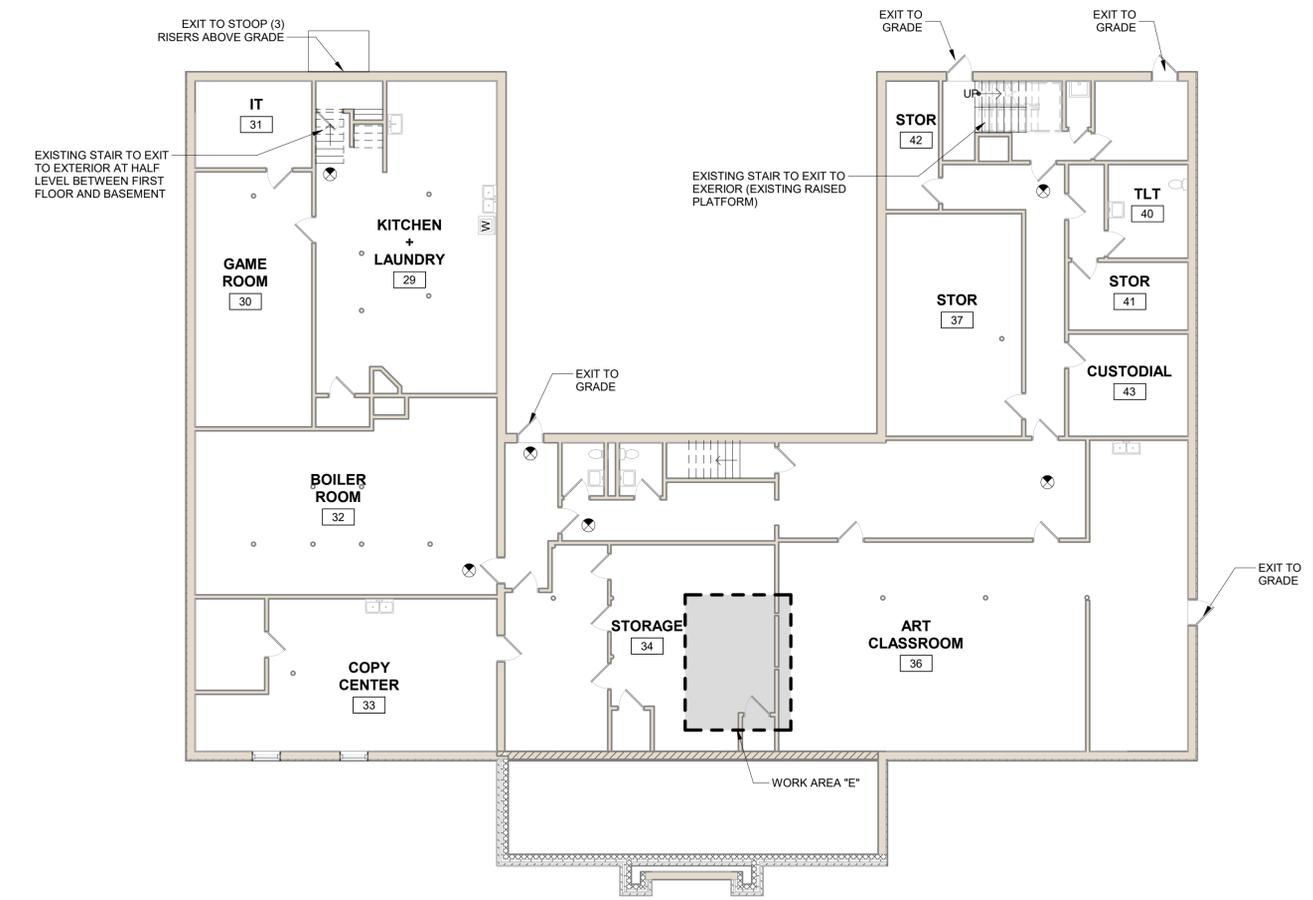
PREVAILING CODES

BUILDING	2015 INTERNATIONAL BUILDING CODE W/ MAINE AMENDMENTS, 2015 INTERNATIONAL EXISTING BUILDING CODE W/ MAINE AMENDMENTS, & 2009 NFPA 101
FIRE	2018 NFPA 101
ENERGY	2015 INTERNATIONAL ENERGY CONSERVATION CODE
MECHANICAL	MAINE UNIFORM BUILDING & ENERGY CODE, 2015 INTERNATIONAL MECHANICAL CODE
PLUMBING	2021 UNIFORM PLUMBING CODE W/MAINE AMENDMENTS
ACCESSIBILITY	2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, 2009 ICC-ANSI A117.1 ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES

BUILDING CODE ANALYSIS

	IEBC/IBC	NFPA 101	
COMPLIANCE PATH	WORK AREA COMPLIANCE PATH: ALTERATION LEVEL 2, SECTION 504	MODIFICATION, CHAPTER 43: SECTION 43.2.2.1.3	
OCCUPANCY	EXISTING MULTIPLE MIXED OCCUPANCY: R2 (RESIDENTIAL), B (BUSINESS), U (UTILITY), ACCESSORY STORAGE, SECTION 302 NO CHANGE OF OCCUPANCY CLASSIFICATION.	EXISTING MIXED MULTIPLE OCCUPANCY: EXISTING DORMITORY (CHAPTER 29), EXISTING APARTMENTS (CHAPTER 31), EXISTING BUSINESS (CHAPTER 39) NO CHANGE OF OCCUPANCY CLASSIFICATION	
AREA SQUARE FOOTAGE	BASEMENT, FIRST FLOOR: 8,075 SF X 2, SECOND, THIRD FLOOR: 7,940 X 2 = 32,030 SF (EXISTING)		
EXISTING CONSTRUCTION TYPE	II-B NON-COMBUSTIBLE, UNPROTECTED, CHAPTER 6	II (0.0.0) NON-COMBUSTIBLE, UNPROTECTED, NFPA 220	
AUTOMATIC SPRINKLER SYSTEMS	EXISTING SUPERVISED - AUTOMATIC SPRINKLER SYSTEM DESIGNED AND INSTALLED PER NFPA 13, TABLE 903 TO REMAIN. WHERE NEW WORK INTERFERES WITH EXISTING SCOPE, SPRINKLER SYSTEM TO BE SELECTIVELY REMOVED AND REPLACED TO ACCOMMODATE NEW WORK.		
FIRE ALARM SYSTEMS	EXISTING FIRE ALARM SYSTEM, MONITORED, TO REMAIN. NEW FA DEVICES TO BE ADDED TO SYSTEM WHERE AT LOCATIONS OF NEW WORK.		
OCCUPANT LOAD CALCULATION	IBC TABLE 1004.1.2	NFPA TABLE 7.3.1.2	
ILLUMINATED EXIT SIGNS	REQUIRED PER SECTION 1013	REQUIRED PER SECTION 7.10.5	PROVIDED (EXISTING & NEW)
COMMON PATH OF TRAVEL (SPRINKLERED)	R2- 125 FT, TABLE 1006.2.1	EXIST. DORMITORY & APARTMENT: 325 FT, TABLE A.7.6	PROVIDED (EXISTING)
EXIT ACCESS TRAVEL DISTANCE (SPRINKLERED)	R: 250 FT, TABLE 1017.2	DORMITORY & APARTMENT: 325 FT, ASSEMBLY: 250, TABLE A.7.6	PROVIDED (EXISTING)
MIN. EXIT SEPARATION (SPRINKLERED)	1/3 LENGTH OF MAX. DIAG. BUILDING DISTANCE, SECTION 1007	1/3 LENGTH OF MAX. DIAG. BUILDING DISTANCE, SECTION 7.5.1.3.3	PROVIDED (EXISTING)
EGRESS WIDTHS	MEANS OF EGRESS CAPACITY FACTOR: 2" PER OCCUPANT, SECTION 1005	MEANS OF EGRESS CAPACITY FACTOR: 2" PER OCCUPANT OR 28" MINIMUM, TABLE 7.3.3.1	PROVIDED (EXISTING)
MAXIMUM DEAD END	50 FT, SECTION 1020.4	50 FT, TABLE A.7.6	LESS THAN 50 FT (PROVIDED)
FIRE AND SMOKE PROTECTION	4 STORY STAIR ENCLOSURES: 2-HR, SEC. 1023.1 CORRIDOR WALLS: 5-HR (EXISTING AND NEW), TABLE 1020.1 SHAFT ENCLOSURES (NEW): 3 STORIES: 1-HR FIRE BARRIER W/1-HR RATED CAP AND BOTTOM, SEC. 713.4 ELEVATOR ENCLOSURE (NEW): 4 STORIES: 2-HR FIRE BARRIER W/2-HR RATED CAP AND BOTTOM	EXISTING STAIRS NOT IN WORK AREAS. PER SFMO DISCUSSION, DOORS TO STAIR ENCLOSURES TO BE REPLACED W/45 MIN. DOORS PROVIDED (NEW WORK AREAS ONLY) ENCLOSURES IN NEW CONSTRUCTION (LESS THEN 4 STORIES): 1-HR FIRE BARRIER, SEC. 8.6.5 (2) ENCLOSURES IN NEW CONSTRUCTION (LESS THEN 4 STORIES): 1-HR FIRE BARRIER, SEC. 8.6.5 (1)	PROVIDED (NEW)

NOTE: SEE MEP DRAWINGS FOR ANY PENETRATIONS OF RATED PARTITIONS - ALL PENETRATIONS OF RATED PARTITIONS REQUIRE PENETRATION FIRESTOPPING



A5 CODE DIAGRAM - BASEMENT
3/32" = 1'-0"

REQUIRED FIXTURES, UNIFORM PLUMBING CODE 2021, TABLE 422.1

TYPE OF OCCUPANCY*	WATER CLOSETS (FIXTURES PER PERSON)		URINALS (FIXTURES PER PERSON)**		LAVATORIES (FIXTURES PER PERSON)**		BATHTUBS OR SHOWER (FIXTURES PER PERSON)
	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE	
R-2 RESIDENTIAL OCCUPANCY (LONG-TERM OR PERMANENT)	1 PER 10	1 PER 8	1 PER 25	1 PER 12	1 PER 12	1 PER 8	
DORMITORIES	ADD 1 FIXTURE FOR EACH ADDITIONAL 25 MALES AND 1 FIXTURE FOR EACH ADDITIONAL 20 FEMALES	ADD 1 FIXTURE FOR EACH ADDITIONAL 20 MALES AND 1 FIXTURE FOR EACH ADDITIONAL 15 FEMALES					

ALL PROPOSED BATHROOMS ARE SINGLE USER, NON GENDER SPECIFIC

TOTAL OCC: 107 BEDS
56 MALE, 56 FEMALE

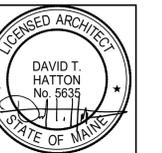
	W.C.	LAV	SHOWER	DRINK. FOUNTAIN
MALE	8	8	7	
FEMALE	10	8	7	
TOTAL REQ'D	18	16	14	1
TOTAL PROVIDED	18	18	18	6

MALLETT HALL

AREA OF WORK PLAN

PLAN NORTH TRUE NORTH

A	BID SET	09/08/2023
REV #	REVISION	DATE



JOB NO.
082184

ISSUED FOR BID
& PERMIT

ISSUE
09/15/2023

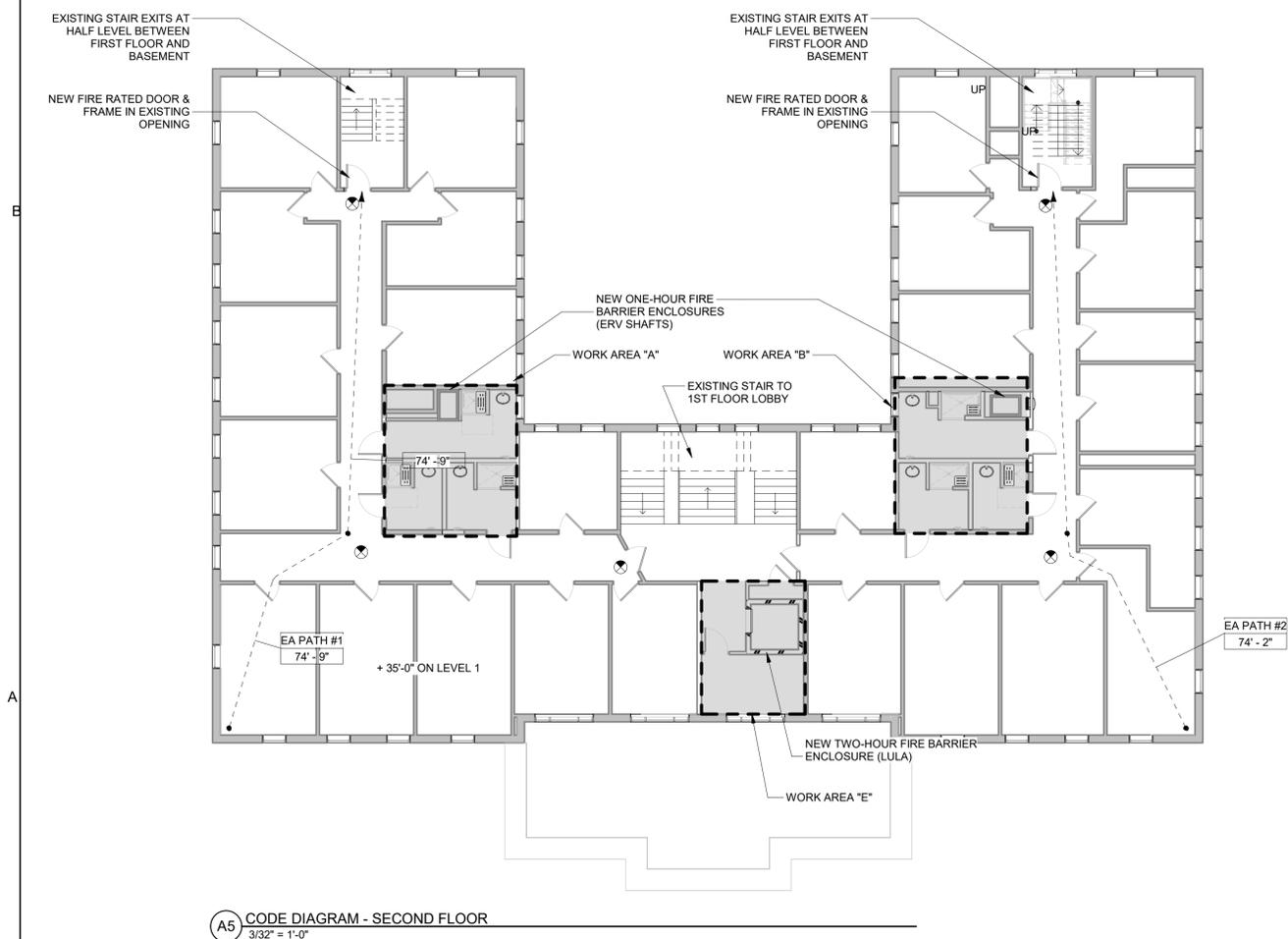
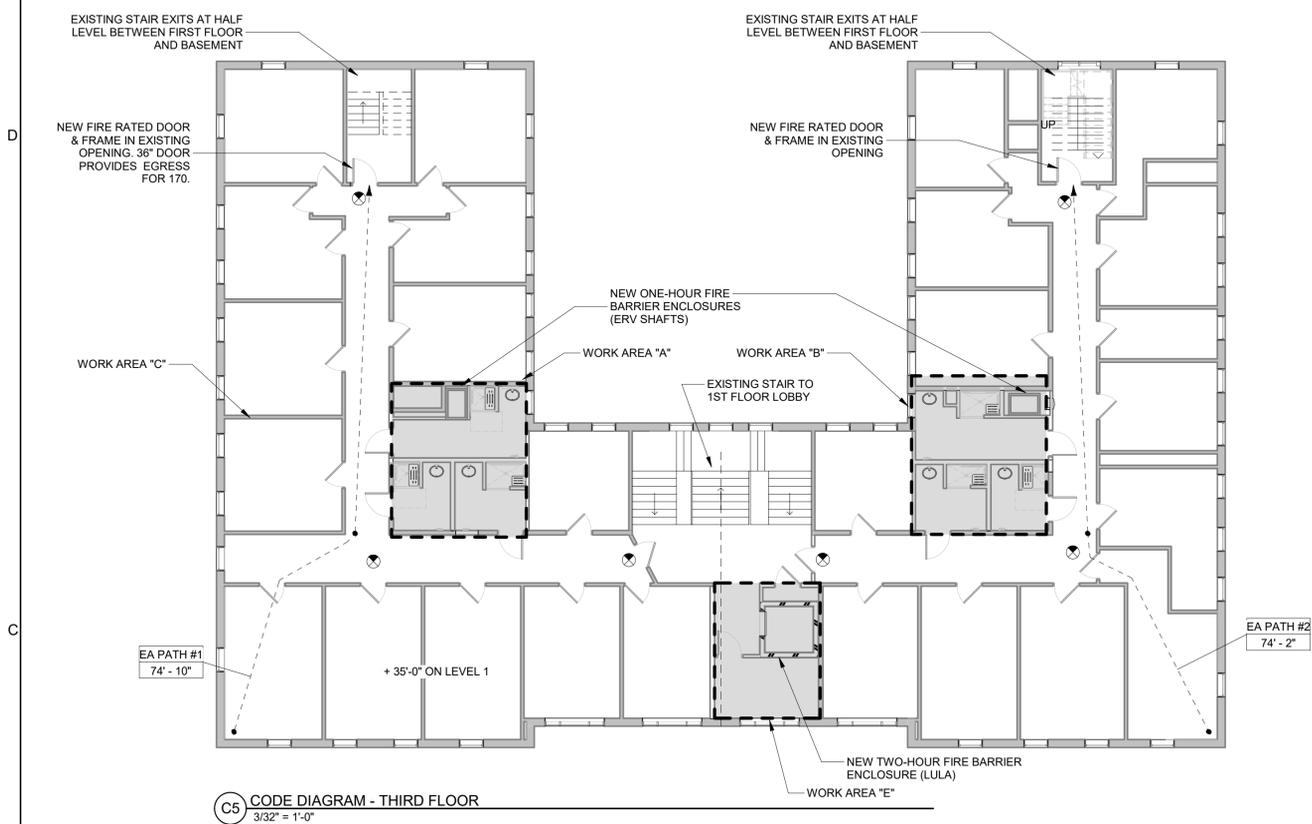
TITLE
CODE DIAGRAMS

SHEET
A006

LIFE SAFETY LEGEND

	ILLUMINATED EXIT SIGN (SEE LIGHTING PLANS FOR MORE DETAIL)
	FIRE EXTINGUISHER, FULLY RECESSED CABINET
	FIRE EXTINGUISHER, ON SURFACE MOUNTED BRACKET; EGRESS TRAVEL PATH
	EGRESS TRAVEL DISTANCE
	TRAVEL DISTANCE TAG

- WHERE FE AND ILLUMINATED EXIT SIGNAGE EXIST, THEY SHALL REMAIN. WHERE NOT PROVIDED AT REQUIRED LOCATIONS, THEY SHALL BE ADDED.
- SEE ALSO ELECTRICAL POWER PLANS FOR EMERGENCY EGRESS AND FIRE ALARM DESIGN



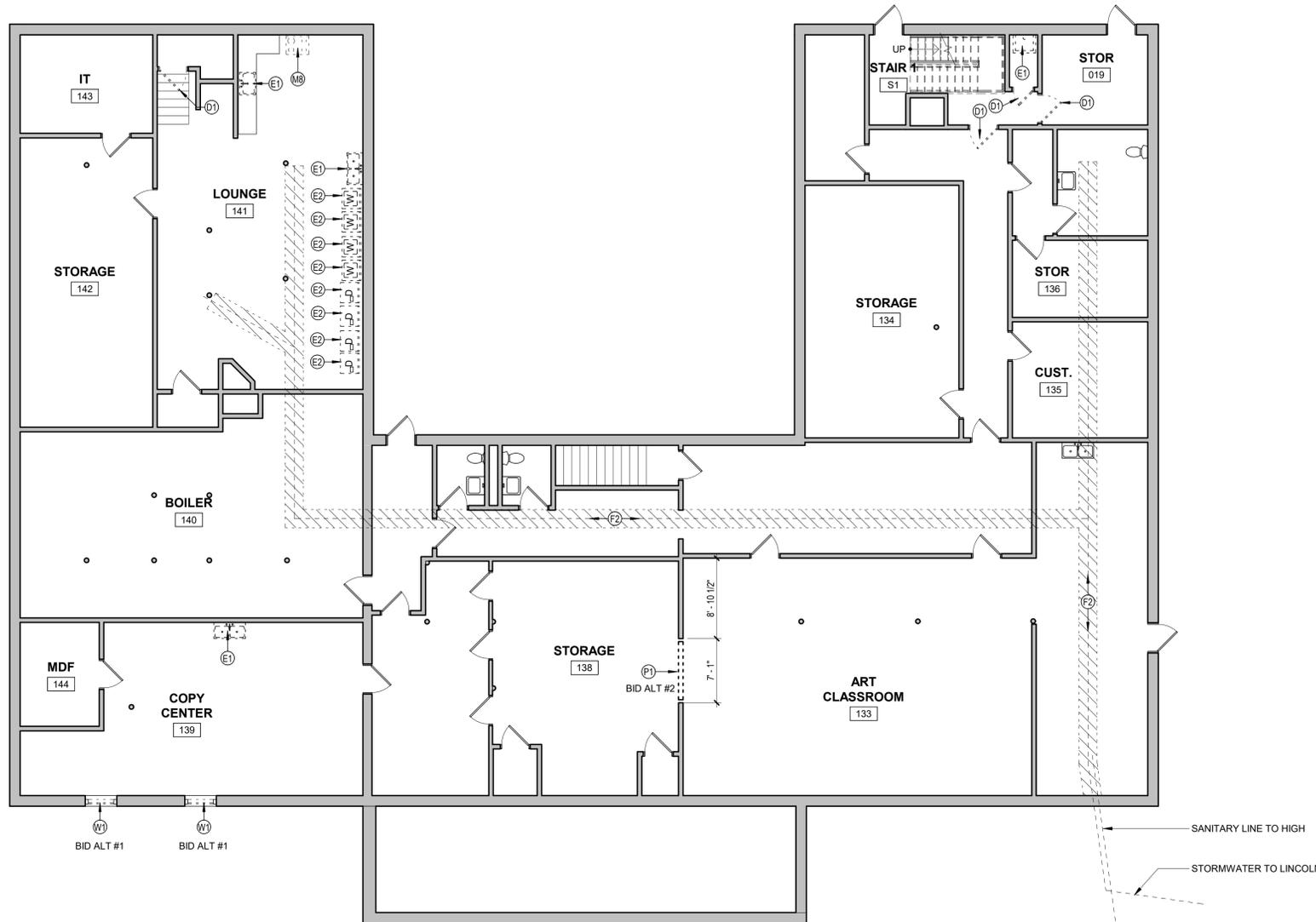
NOTE:
SEE PREVIOUS SHEET A005 FOR CODE SUMMARY AND LEGEND

MALLET HALL

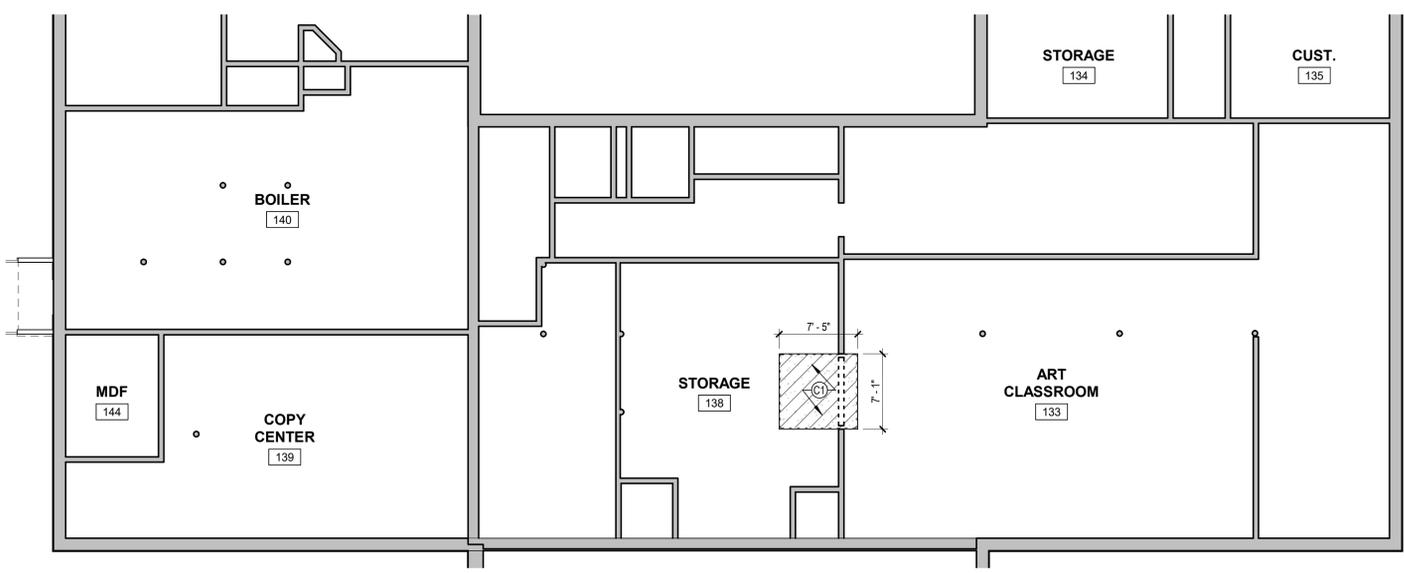
AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH



A1 OVERALL DEMOLITION PLAN - BASEMENT
1/8" = 1'-0"



1 DEMOLITION REFLECTED CEILING PLAN - BASEMENT
1/8" = 1'-0"

DEMOLITION KEYNOTE LEGEND	
KEY	DESCRIPTION
CEILING	
C1	REMOVE EXISTING CEILING
C2	REMOVE PORTION OF FALSE BEAM SOFFIT
DOOR	
D1	REMOVE DOOR, FRAME, TRIM & THRESHOLD, SALVAGE THRESHOLD
D2	REMOVE DOOR PANEL, SALVAGE FOR SWING REVERSAL
EQUIPMENT	
E1	REMOVE PLUMBING FIXTURES & ACCESSORIES
E2	REMOVE WASHER/DRYER, SALVAGE FOR OWNER
E3	REMOVE RADIATOR
FLOOR	
F1	REMOVE FLOOR FINISH & SUBFLOOR
F2	APPROXIMATE REMOVAL OF SLAB TRENCHING FOR SUB-SLAB PLUMBING
F3	REMOVE FLOOR FINISH, SUBFLOOR & FRAMING AS REQUIRED FOR NEW FLOOR OPENING
F4	REMOVE FLOOR FINISH TO SUBFLOOR
MISCELLANEOUS	
M1	REMOVE RAILING SYSTEM
M2	EXISTING COLUMN TO REMAIN
M3	REMOVE VENDING MACHINE, SALVAGE FOR RELOCATION
M4	REMOVE EXISTING NON-STRUCTURAL FRAMING AROUND DUMBWAITER SHAFT ABOVE ATTIC FLOOR DECKING. REMOVE & SALVAGE PULLEY/GEAR SYSTEM FOR OWNER
M5	REMOVE FINISH & FURRING ON BRICK PIER, VERIFY EXISTING STRUCTURAL CONDITION FOR NEW WORK
M6	REMOVE MAILBOXES, SALVAGE FOR REINSTALLATION
M7	REMOVE CONDUIT, ELECTRICAL FIXTURES & LIGHTING FIXTURES THIS SIDE OF PARTITION
M8	REMOVE RANGE, HOOD AND FIRE SUPPRESSION SYSTEM, SALVAGE RANGE FOR RELOCATION
WALL	
P1	REMOVE PORTION OF WALL
P2	REMOVE WALL FINISH ON BOTH SIDES OF FRAMING DOWN TO TO FRAMING
P3	REMOVE WALL FINISH ON INDICATED SIDE OF FRAMING DOWN TO FRAMING
P4	REMOVE WALL FINISH ON CORRIDOR SIDE OF FRAMING 1'-0" BEYOND SCOPE OF WORK, TYP.
P5	REMOVE WALL AS REQUIRED FOR NEW OPENING
WINDOW	
W1	REMOVE WINDOW & FRAME
W2	REMOVE WINDOW FILM & INTERIOR TRIM

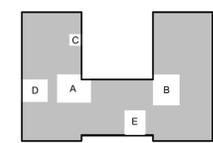
GENERAL DEMOLITION AND REMOVAL NOTES

- THE DEMOLITION DRAWINGS PROVIDE GENERAL COORDINATION INFORMATION ONLY, AND ARE SCHEMATIC IN NATURE. THEY DO NOT IDENTIFY ALL INDIVIDUAL ITEMS TO BE REMOVED. REMOVE ANY EXISTING CONSTRUCTION WHICH IS IN THE WAY OF NEW CONSTRUCTION OR PROHIBITS THE NEW CONSTRUCTION.
- VERIFY EXISTING STRUCTURAL CONDITIONS PRIOR TO DEMOLITION OR REMOVALS.
- PROTECT FROM DAMAGE AND WEATHER ANY EXISTING BUILDING COMPONENTS, WHICH ARE EXPOSED AS A RESULT OF DEMOLITION OR REMOVALS.
- COORDINATE AND SCHEDULE WORK IN EXISTING OCCUPIED PORTIONS OF THE BUILDING WITH THE OWNER.
- NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERY OF POTENTIALLY HAZARDOUS MATERIAL OR SUBSTANCE NOT ADDRESSED IN THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO ASBESTOS, PCB, LEAD, MERCURY, AND MOLD. DO NOT DISTURB HAZARDOUS MATERIALS. HAZARDOUS MATERIAL SHALL BE LEGALLY ABATED, TRANSPORTED, AND DISPOSED OF.
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- REMOVAL OF MATERIALS SHALL BE DONE WITHOUT DISTURBING ADJACENT SURFACES OR THE CURRENT CONDITION OF OTHER BUILDING ELEMENTS INTENDED TO REMAIN.
- WHERE DEMOLITION OF ITEMS (I.E. WIRING, CONDUIT, PIPING, ATTACHED CASEWORK, ETC.) LEAVES HOLES, VOIDS OR DAMAGE TO EXISTING BUILDING ELEMENTS THAT SHALL REMAIN, GC SHALL PATCH AND REPAIR TO MATCH ADJACENT SURFACES.
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- WHERE WALL REMOVAL IS CALLED FOR:
 • SURFACE FINISHES MAY INCLUDE, BUT ARE NOT LIMITED TO: GWB, CERAMIC TILE, FRL PANELS AND WOOD PANELS.
 • SCOPE INCLUDES EQUIPMENT AND/OR ACCESSORIES MOUNTED ON WALL, UNLESS NOTED FOR SALVAGE
- WHERE FINISH FLOOR REMOVAL IS CALLED FOR, SURFACES MAY INCLUDE, BUT ARE NOT LIMITED TO: CERAMIC TILE, CONCRETE SHOWER PANS AND CARPET.
- REMOVE DAMAGED AND/OR DISCARDED BUILDING CONSTRUCTION MATERIAL FROM CONCEALED SPACES. PRIOR TO CLOSING-OR SEALING-OFF CONCEALED SPACES, THE CONTRACTOR SHALL ALLOW FOR A REVIEW OF COMPONENTS WHICH WILL NOT BE VISIBLE WHEN THE SPACES HAVE BEEN SEALED.
- DEMOLITION/REMOVAL DEBRIS IS THE PROPERTY OF THE CONTRACTOR, UNLESS NOTED OTHERWISE, AND SHALL BE LEGALLY DISPOSED OF.
- ALL ELECTRICAL, PLUMBING AND MECHANICAL LOCATED IN WALLS AND CEILING NOTED TO BE REMOVED SHALL BE EITHER REMOVED BACK TO THE SOURCE OF LOCATED OUT OF HARM'S WAY. FOR RELATIONS IN NEW CONSTRUCTION, GC TO COORDINATE.
- REFER TO MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND CIVIL DRAWINGS FOR ADDITIONAL DEMOLITION SCOPE.
- SOME MEP, STRUCTURAL AND CIVIL WORK WILL REQUIRE INTERVENTION BEYOND LIMIT OF WORK AREAS.
- GC SHALL CAP AND SEAL ALL WATER, SANITARY AND GAS PIPING THAT IS NOT TO BE RE-USED OR RE-PURPOSED AND COORDINATE THE SAME WITH SITE UTILITIES
- ALL DIMENSIONS ON DEMOLITION PLANS AREA APPROXIMATE (+/-). GC TO VERIFY DIMENSIONS IN THE FIELD AND CONSULT ARCHITECT/ENGINEER IN CASE OF CONFLICT OR QUESTION.

DEMOLITION PLAN LEGEND

	EXTENT OF FLOOR FINISH REMOVALS, SUBFLOOR REMOVAL AS REQUIRED, SAWCUT CONCRETE FLOOR EDGES.
	EXTENT OF GWB CEILING FINISH REMOVALS
	ACT CEILING TO BE REMOVED
	EXISTING DOOR AND FRAME TO REMAIN
	EXISTING DOOR AND FRAME TO BE REMOVED
	EXISTING PARTITION TO REMAIN
	EXISTING PARTITION TO BE REMOVED (DASHED)

MALLETT HALL



A	BID SET	09/08/2023
REV #	REVISION	DATE



JOB NO.
082184

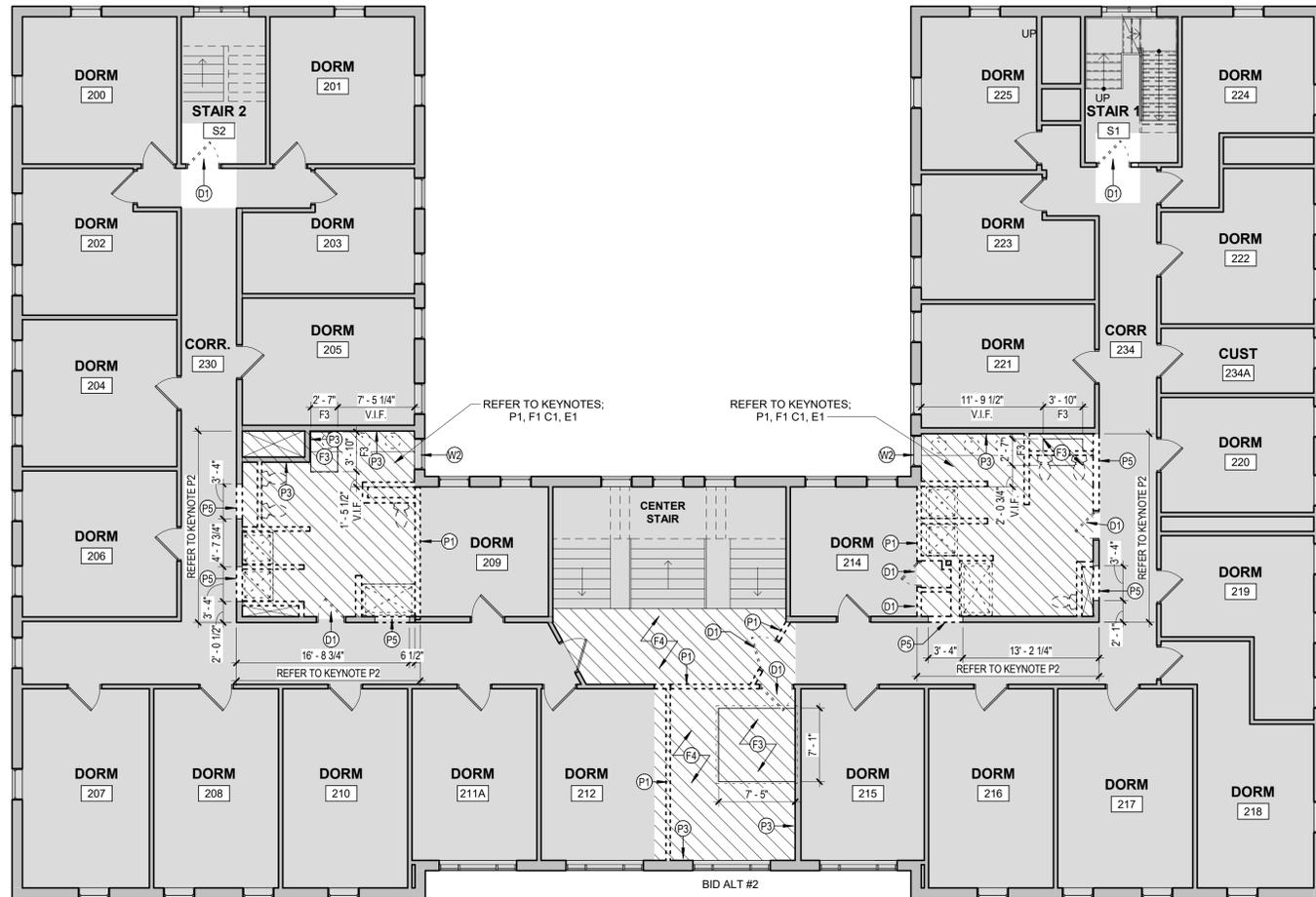
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09/15/2023

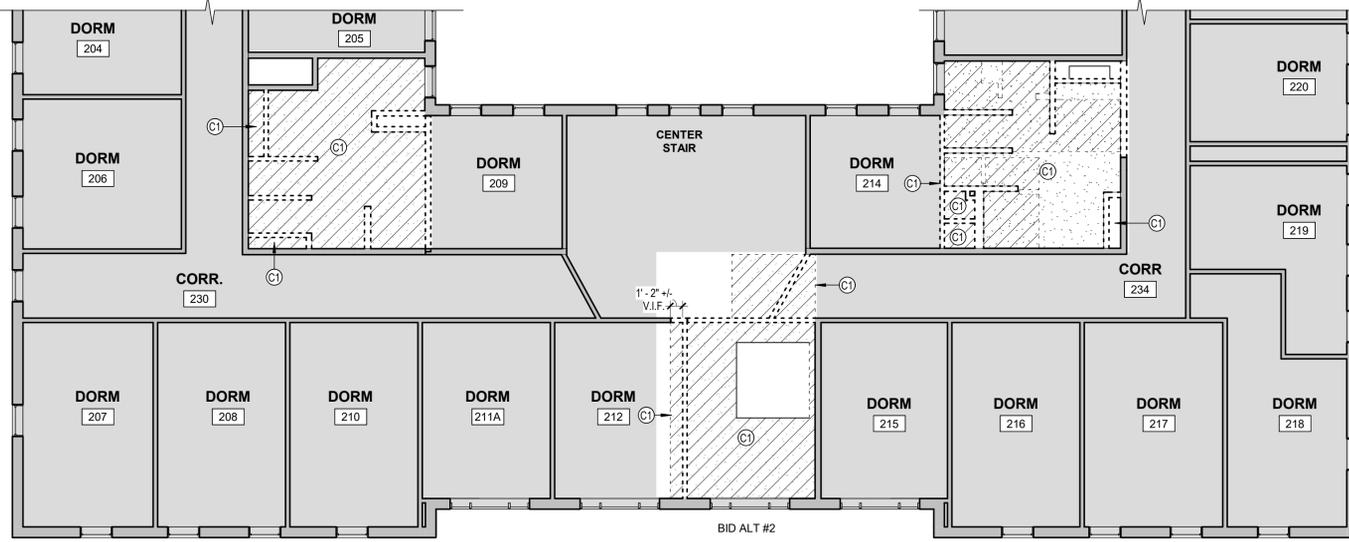
TITLE
DEMOLITION PLAN - BASEMENT

SHEET

AD100



B1 OVERALL DEMOLITION PLAN - SECOND FLOOR
1/8" = 1'-0"



A1 DEMOLITION REFLECTED CEILING PLAN - SECOND FLOOR
1/8" = 1'-0"

DEMOLITION KEYNOTE LEGEND	
KEY	DESCRIPTION
CEILING	
C1	REMOVE EXISTING CEILING
C2	REMOVE PORTION OF FALSE BEAM SOFFIT
DOOR	
D1	REMOVE DOOR, FRAME, TRIM & THRESHOLD, SALVAGE THRESHOLD
D2	REMOVE DOOR PANEL, SALVAGE FOR SWING REVERSAL
EQUIPMENT	
E1	REMOVE PLUMBING FIXTURES & ACCESSORIES
E2	REMOVE WASHER/DRYER, SALVAGE FOR OWNER
E3	REMOVE RADIATOR
FLOOR	
F1	REMOVE FLOOR FINISH & SUBFLOOR
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F4	REMOVE FLOOR FINISH TO SUBFLOOR
MISCELLANEOUS	
M1	REMOVE RAILING SYSTEM
M2	EXISTING COLUMN TO REMAIN
M3	REMOVE VENDING MACHINE, SALVAGE FOR RELOCATION
M4	REMOVE EXISTING NON-STRUCTURAL FRAMING AROUND DUMBWAITER SHAFT ABOVE ATTIC FLOOR DECKING. REMOVE & SALVAGE PULLEY/GEAR SYSTEM FOR OWNER
M5	REMOVE FINISH & FURRING ON BRICK PIER, VERIFY EXISTING STRUCTURAL CONDITION FOR NEW WORK
M6	REMOVE MAILBOXES, SALVAGE FOR REINSTALLATION
M7	REMOVE CONDUIT, ELECTRICAL FIXTURES & LIGHTING FIXTURES THIS SIDE OF PARTITION
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WALL	
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P5	REMOVE WALL AS REQUIRED FOR NEW OPENING
WINDOW	
W1	REMOVE WINDOW & FRAME
W2	REMOVE WINDOW FILM & INTERIOR TRIM

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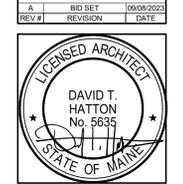
DEMOLITION PLAN LEGEND	
	EXTENT OF FLOOR FINISH REMOVALS, SUBFLOOR REMOVAL AS REQUIRED. SAWCUT CONCRETE FLOOR EDGES.
	EXTENT OF GWB CEILING FINISH REMOVALS
	ACT CEILING TO BE REMOVED
	EXISTING DOOR AND FRAME TO REMAIN
	EXISTING DOOR AND FRAME TO BE REMOVED
	EXISTING PARTITION TO REMAIN
	EXISTING PARTITION TO BE REMOVED (DASHED)

MALLETT HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH



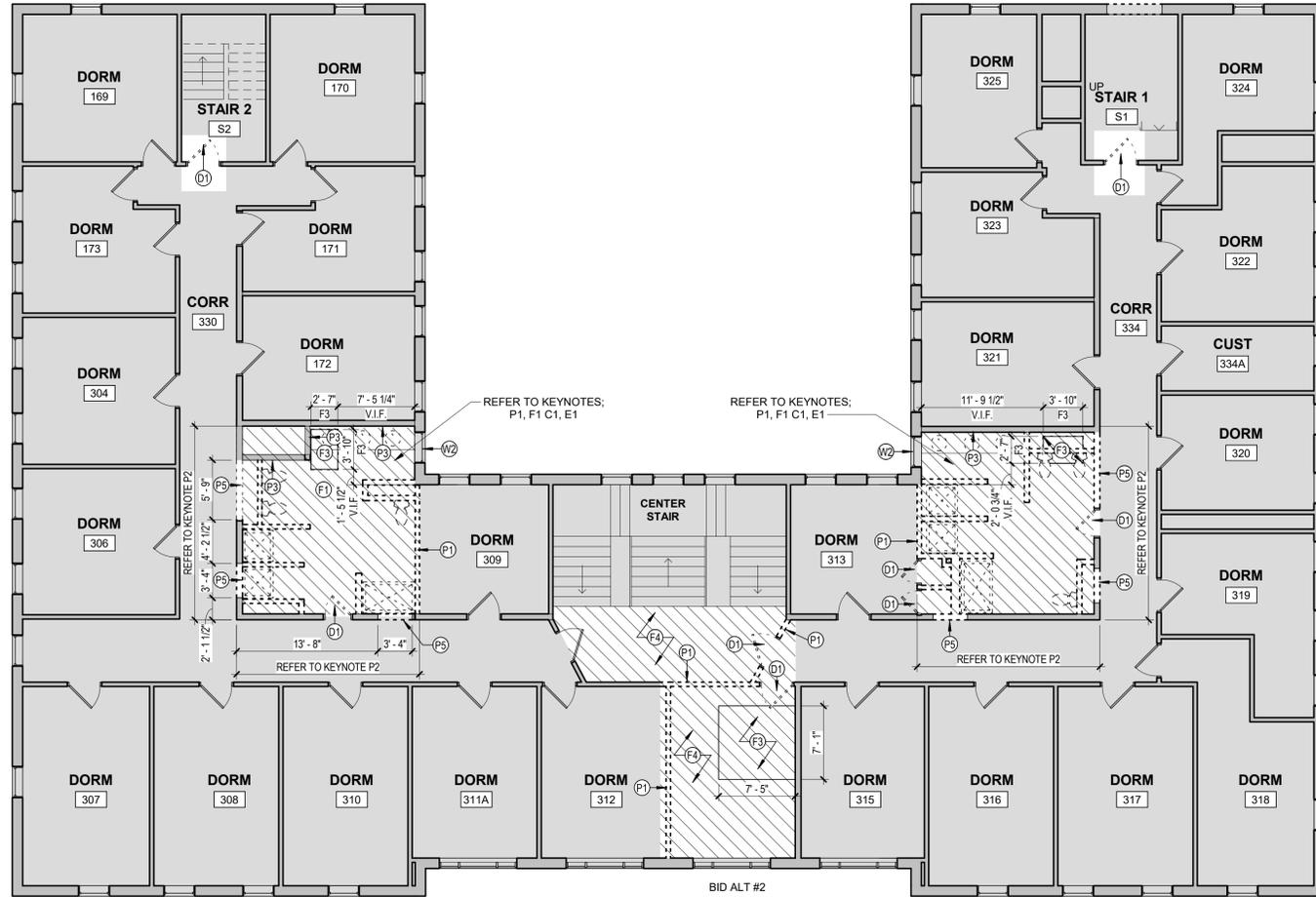
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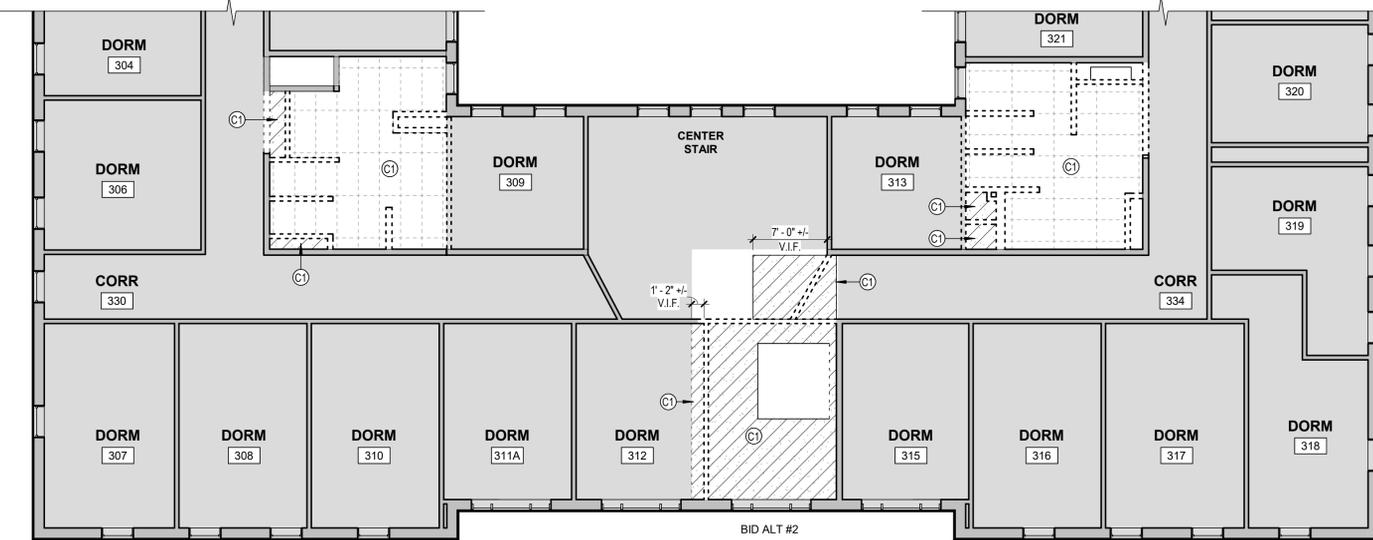
ISSUE
09/15/2023

TITLE
DEMOLITION PLAN
- SECOND FLOOR

SHEET
AD102



B1 OVERALL DEMOLITION PLAN - THIRD FLOOR
1/8" = 1'-0"

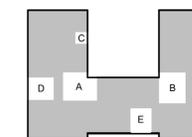


A1 DEMOLITION REFLECTED CEILING PLAN - THIRD FLOOR
1/8" = 1'-0"

DEMOLITION KEYNOTE LEGEND	
KEY	DESCRIPTION
CEILING	
C1	REMOVE EXISTING CEILING
C2	REMOVE PORTION OF FALSE BEAM SOFFIT
DOOR	
D1	REMOVE DOOR, FRAME, TRIM & THRESHOLD, SALVAGE THRESHOLD
D2	REMOVE DOOR PANEL, SALVAGE FOR SWING REVERSAL
EQUIPMENT	
E1	REMOVE PLUMBING FIXTURES & ACCESSORIES
E2	REMOVE WASHER/DRYER, SALVAGE FOR OWNER
E3	REMOVE RADIATOR
FLOOR	
F1	REMOVE FLOOR FINISH & SUBFLOOR
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F4	REMOVE FLOOR FINISH TO SUBFLOOR
MISCELLANEOUS	
M1	REMOVE RAILING SYSTEM
M2	EXISTING COLUMN TO REMAIN
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M8	REMOVE RANGE, HOOD AND FIRE SUPPRESSION SYSTEM, SALVAGE RANGE FOR RELOCATION
WALL	
P1	REMOVE PORTION OF WALL
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P5	REMOVE WALL AS REQUIRED FOR NEW OPENING
WINDOW	
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DEMOLITION PLAN LEGEND	
	EXTENT OF FLOOR FINISH REMOVALS, SUBFLOOR REMOVAL AS REQUIRED, SAWCUT CONCRETE FLOOR EDGES.
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MALLETT HALL



AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH

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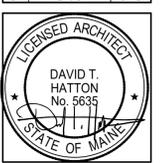


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A	BID SET	09/08/2023
REV #1	REVISION	DATE



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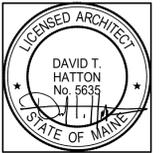
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ISSUE
09/15/2023

TITLE
DEMOLITION PLAN
- THIRD FLOOR

SHEET
AD103

A	BID SET	09/08/2023
REV #	REVISION	DATE



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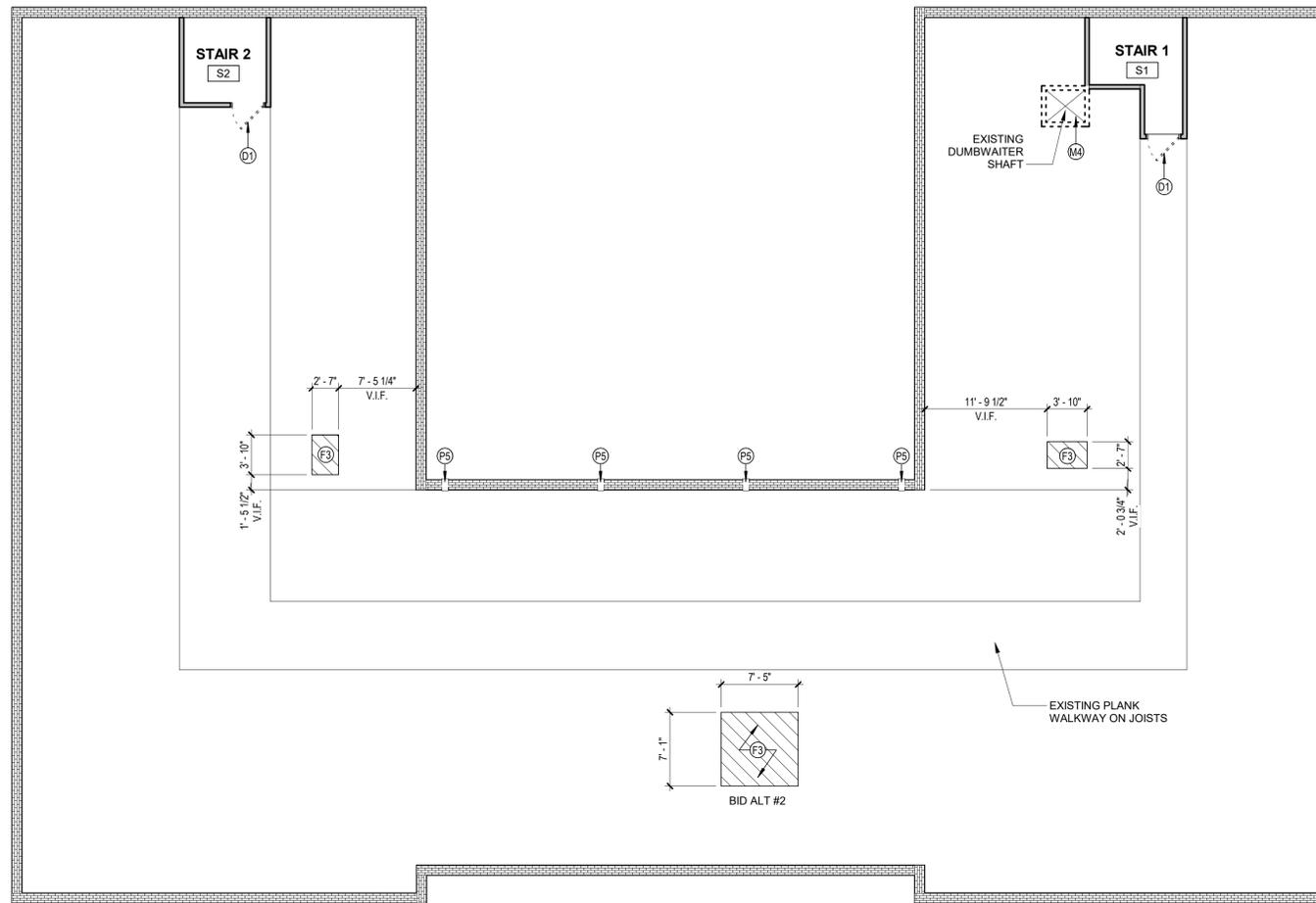
ISSUE
09/15/2023

TITLE
DEMOLITION PLAN
- ATTIC

SHEET
AD104

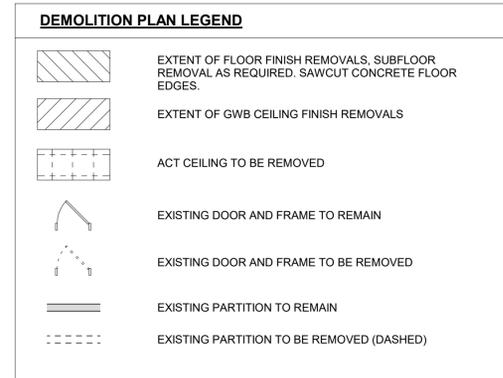
GENERAL DEMOLITION AND REMOVAL NOTES

- THE DEMOLITION DRAWINGS PROVIDE GENERAL COORDINATION INFORMATION ONLY, AND ARE SCHEMATIC IN NATURE. THEY DO NOT IDENTIFY ALL INDIVIDUAL ITEMS TO BE REMOVED. REMOVE ANY EXISTING CONSTRUCTION WHICH IS IN THE WAY OF NEW CONSTRUCTION OR PROHIBITS THE NEW CONSTRUCTION.
- VERIFY EXISTING STRUCTURAL CONDITIONS PRIOR TO DEMOLITION OR REMOVALS WHICH ARE EXPOSED AS A RESULT OF DEMOLITION OR REMOVALS.
- PROTECT FROM DAMAGE AND WEATHER ANY EXISTING BUILDING COMPONENTS, WHICH ARE EXPOSED AS A RESULT OF DEMOLITION OR REMOVALS.
- COORDINATE AND SCHEDULE WORK IN EXISTING OCCUPIED PORTIONS OF THE BUILDING WITH THE OWNER.
- NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY UPON DISCOVERY OF POTENTIALLY HAZARDOUS MATERIAL OR SUBSTANCE NOT ADDRESSED IN THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO ASBESTOS, PCB, LEAD, MERCURY, AND MOLD. DO NOT DISTURB HAZARDOUS MATERIALS. HAZARDOUS MATERIAL SHALL BE LEGALLY ABATED, TRANSPORTED, AND DISPOSED OF.
- CONCRETE SLAB REMOVALS MAY BE REQUIRED THROUGHOUT THE EXISTING BUILDING AND MAY NOT BE SHOWN ON THE DEMOLITION DRAWINGS. COORDINATE THE EXTENT OF SLAB REMOVALS WITH STRUCTURAL, MECHANICAL AND ELECTRICAL PLANS. CONTRACTOR TO VERIFY LOCATION OF EXISTING SUB-SLAB FOOTINGS AND SUB-SLAB UTILITIES; NOTIFY OWNER/ARCHITECT IF NEW TRENCH CONFLICTS. CUT TRENCHES IN EXISTING CONCRETE FLOORS WITH NO MORE THAN A 1:2 SLOPE. PROVIDE AN UNDER-SLAB VAPOR RETARDER AT SLABS ON GRADE. REFER TO STRUCTURAL DRAWINGS FOR REINFORCEMENT REQUIREMENTS. PATCH CONCRETE TO MATCH ADJACENT THICKNESS AND FINISH PRIOR TO THE INSTALLATION OF UNDERLAYMENT OR NEW FINISHES.
- REMOVAL OF MATERIALS SHALL BE DONE WITHOUT DISTURBING ADJACENT SURFACES OR THE CURRENT CONDITION OF OTHER BUILDING ELEMENTS INTENDED TO REMAIN.
- WHERE DEMOLITION OF ITEMS (I.E. WIRING, CONDUIT, PIPING, ATTACHED CASEWORK, ETC.) LEAVES HOLES, VOIDS OR DAMAGE TO EXISTING BUILDING ELEMENTS THAT SHALL REMAIN, GC SHALL PATCH AND REPAIR TO MATCH ADJACENT SURFACES.
- THE OWNER SHALL REMOVE FURNITURE AND OTHER MOVABLE AND/OR FIXED EQUIPMENT PRIOR TO NEW WORK IN ANY AREA, EXCEPT FOR MECHANICAL, ELECTRICAL OR MINOR WORK NOT REQUIRING THE OWNER TO COMPLETELY VACATE THE PREMISES. NOTIFY THE OWNER OF THE SCHEDULE FOR NEW WORK AND EXTENT OF OWNER REMOVALS NECESSARY.
- WHERE WALL REMOVAL IS CALLED FOR:
 - SURFACE FINISHES MAY INCLUDE, BUT ARE NOT LIMITED TO: GWB, CERAMIC TILE, FRL PANELS AND WOOD PANELS.
 - SCOPE INCLUDES EQUIPMENT AND/OR ACCESSORIES MOUNTED ON WALL, UNLESS NOTED FOR SALVAGE
- WHERE FINISH FLOOR REMOVAL IS CALLED FOR, SURFACES MAY INCLUDE, BUT ARE NOT LIMITED TO: CERAMIC TILE, CONCRETE SHOWER PANS AND CARPET.
- REMOVE DAMAGED AND/OR DISCARDED BUILDING CONSTRUCTION MATERIAL FROM CONCEALED SPACES. PRIOR TO CLOSING- OR SEALING-OFF CONCEALED SPACES, THE CONTRACTOR SHALL ALLOW FOR A REVIEW OF COMPONENTS WHICH WILL NOT BE VISIBLE WHEN THE SPACES HAVE BEEN SEALED.
- DEMOLITION/REMOVAL DEBRIS IS THE PROPERTY OF THE CONTRACTOR, UNLESS NOTED OTHERWISE, AND SHALL BE LEGALLY DISPOSED OF.
- ALL ELECTRICAL, PLUMBING AND MECHANICAL LOCATED IN WALLS AND CEILINGS NOTED TO BE REMOVED SHALL BE EITHER REMOVED BACK TO THE SOURCE OF LOCATED OUT OF HARM'S WAY. FOR RELOCATIONS IN NEW CONSTRUCTION, GC TO COORDINATE.
- REFER TO MECHANICAL, ELECTRICAL, PLUMBING, STRUCTURAL AND CIVIL DRAWINGS FOR ADDITIONAL DEMOLITION SCOPE.
- SOME MEP, STRUCTURAL AND CIVIL WORK WILL REQUIRE INTERVENTION BEYOND LIMIT OF WORK AREAS.
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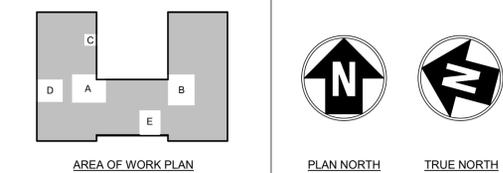


A1 OVERALL DEMOLITION PLAN - ATTIC
1/8" = 1'-0"

DEMOLITION KEYNOTE LEGEND	
KEY	DESCRIPTION
CEILING	
C1	REMOVE EXISTING CEILING
C2	REMOVE PORTION OF FALSE BEAM SOFFIT
DOOR	
D1	REMOVE DOOR, FRAME, TRIM & THRESHOLD, SALVAGE THRESHOLD
D2	REMOVE DOOR PANEL, SALVAGE FOR SWING REVERSAL
EQUIPMENT	
E1	REMOVE PLUMBING FIXTURES & ACCESSORIES
E2	REMOVE WASHER/DRYER, SALVAGE FOR OWNER
E3	REMOVE RADIATOR
FLOOR	
F1	REMOVE FLOOR FINISH & SUBFLOOR
F2	APPROXIMATE REMOVAL OF SLAB TRENCHING FOR SUB-SLAB PLUMBING
F3	REMOVE FLOOR FINISH, SUBFLOOR & FRAMING AS REQUIRED FOR NEW FLOOR OPENING
F4	REMOVE FLOOR FINISH TO SUBFLOOR
MISCELLANEOUS	
M1	REMOVE RAILING SYSTEM
M2	EXISTING COLUMN TO REMAIN
M3	REMOVE VENDING MACHINE, SALVAGE FOR RELOCATION
M4	REMOVE EXISTING NON-STRUCTURAL FRAMING AROUND DUMBWAITER SHAFT ABOVE ATTIC FLOOR DECKING. REMOVE & SALVAGE PULLEY/GEAR SYSTEM FOR OWNER
M5	REMOVE FINISH & FURRING ON BRICK PIER, VERIFY EXISTING STRUCTURAL CONDITION FOR NEW WORK
M6	REMOVE MAILBOXES, SALVAGE FOR REINSTALLATION
M7	REMOVE CONDUIT, ELECTRICAL FIXTURES & LIGHTING FIXTURES THIS SIDE OF PARTITION
M8	REMOVE RANGE, HOOD AND FIRE SUPPRESSION SYSTEM, SALVAGE RANGE FOR RELOCATION
WALL	
P1	REMOVE PORTION OF WALL
P2	REMOVE WALL FINISH ON BOTH SIDES OF FRAMING DOWN TO TO FRAMING
P3	REMOVE WALL FINISH ON INDICATED SIDE OF FRAMING DOWN TO FRAMING
P4	REMOVE WALL FINISH ON CORRIDOR SIDE OF FRAMING 1'-0" BEYOND SCOPE OF WORK, TYP.
P5	REMOVE WALL AS REQUIRED FOR NEW OPENING
WINDOW	
W1	REMOVE WINDOW & FRAME
W2	REMOVE WINDOW FILM & INTERIOR TRIM



MALLETT HALL



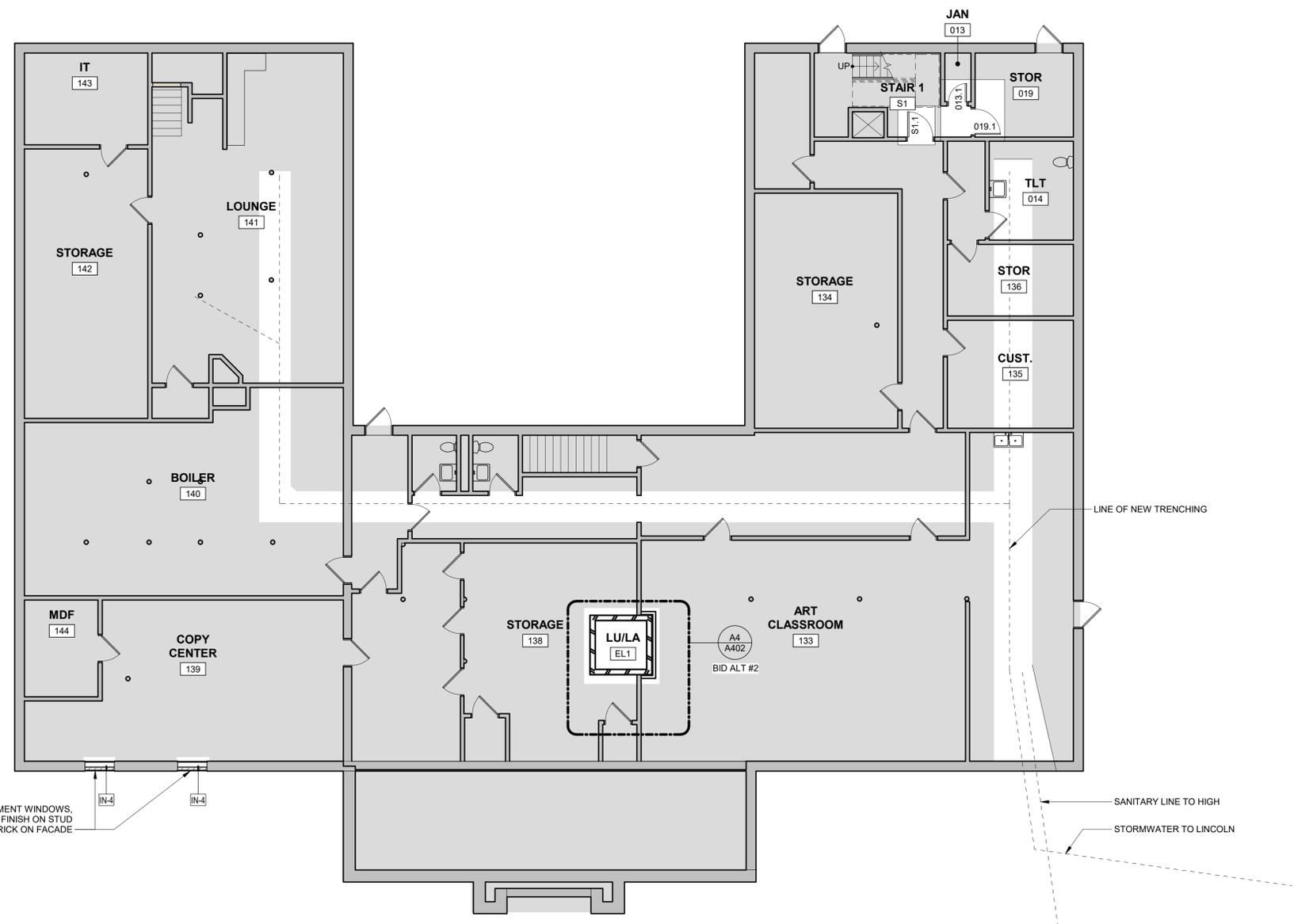
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2

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BID ALT #1
 INFILL 2 EXISTING BASEMENT WINDOWS.
 FLUSH INTERIOR DRYWALL FINISH ON STUD
 BACKUP WITH BRICK ON FACADE

LINE OF NEW TRENCHING

SANITARY LINE TO HIGH

STORMWATER TO LINCOLN

1 OVERALL FLOOR PLAN - BASEMENT
 1/8" = 1'-0"

PLAN GENERAL NOTES

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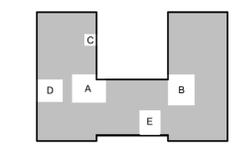
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ISSUE
09/15/2023

TITLE
OVERALL FLOOR PLAN - BASEMENT

SHEET
A100

MALLETT HALL



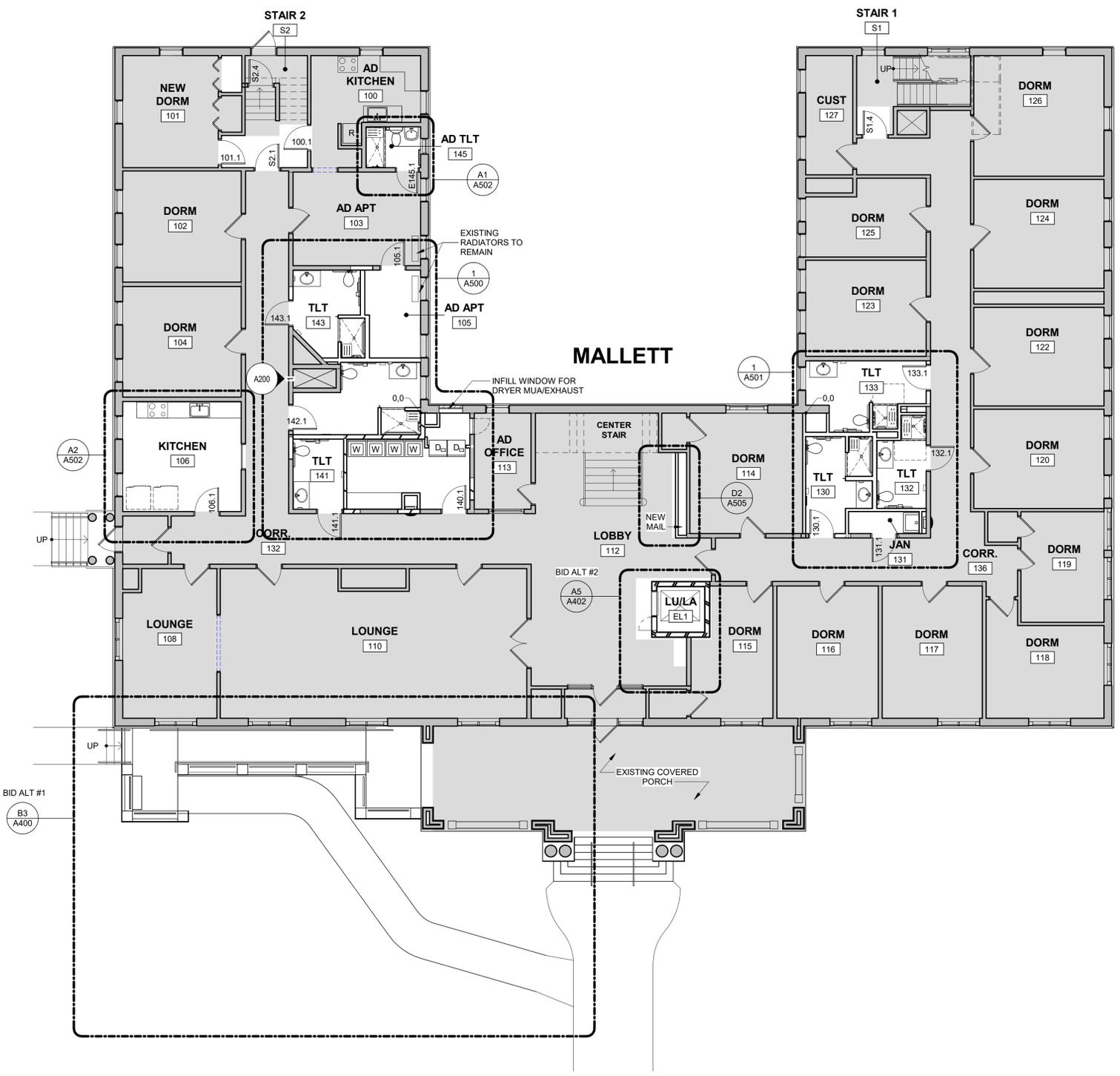
AREA OF WORK PLAN



PLAN NORTH



TRUE NORTH



1 OVERALL FLOOR PLAN - FIRST FLOOR
1/8" = 1'-0"

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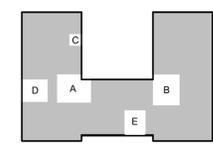
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ISSUE
09/15/2023

TITLE
OVERALL FLOOR PLAN - FIRST FLOOR

SHEET
A101

MALLETT HALL



AREA OF WORK PLAN



PLAN NORTH



TRUE NORTH

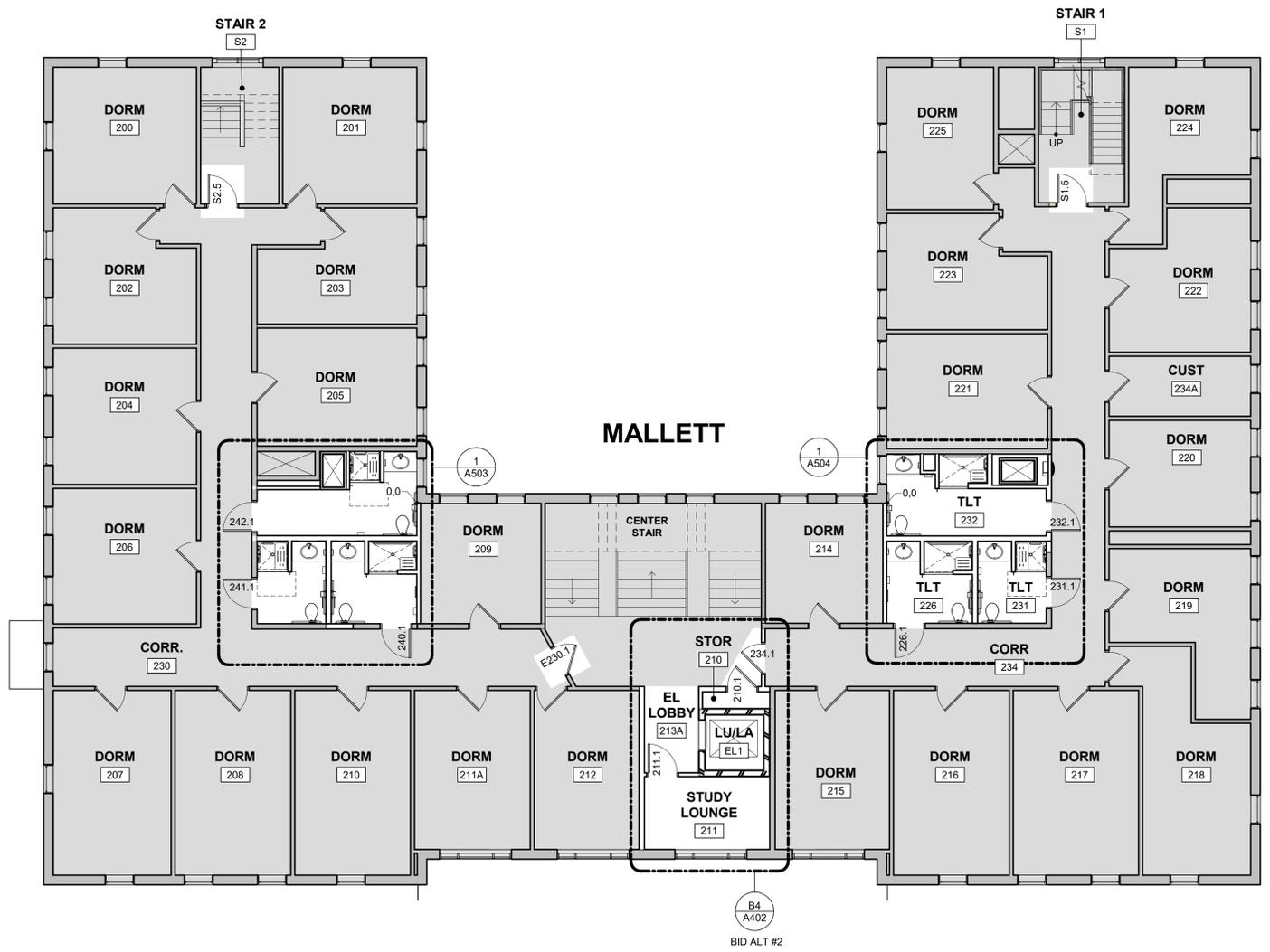
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1



1 ENLARGED FLOOR PLAN - SECOND FLOOR
1/8" = 1'-0"

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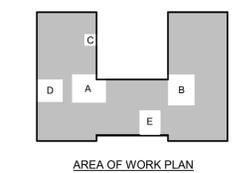
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ISSUE
09/15/2023

TITLE
OVERALL FLOOR
PLAN - SECOND
FLOOR

SHEET
A102

MALLETT HALL



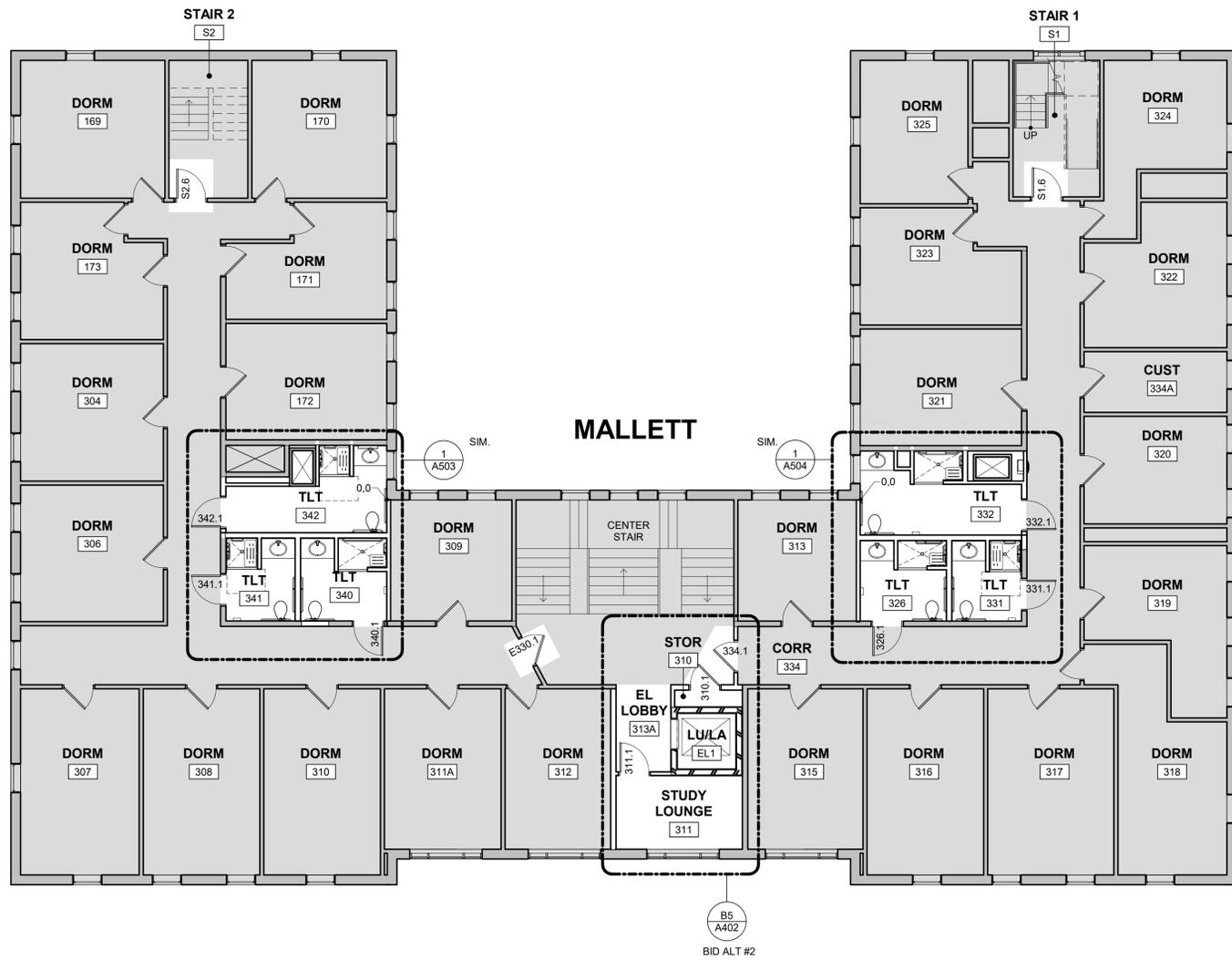
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2

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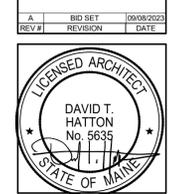
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MALLETT HALL RENOVATION
180 HIGH ST. FARMINGTON, ME 04086
UNIVERSITY OF MAINE AT FARMINGTON



JOB NO.
082184

ISSUED FOR BID
& PERMIT

ISSUE
09/15/2023

TITLE
OVERALL FLOOR
PLAN - THIRD
FLOOR

SHEET
A103

MALLETT HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH

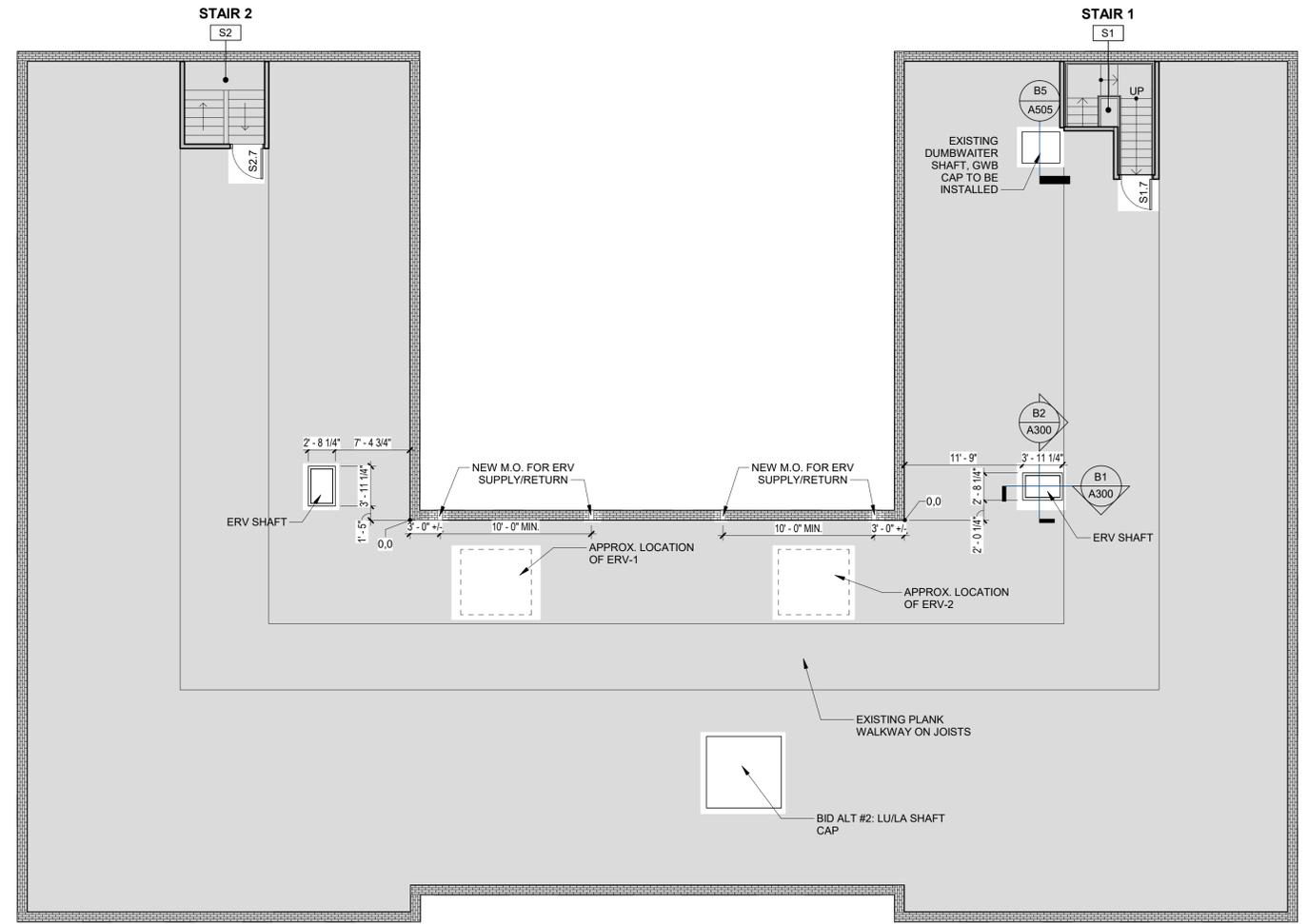
5

4

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2

1



1 ATTIC
1/8" = 1'-0"

PLAN GENERAL NOTES

- WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE: WOOD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**
 - EXTERIOR DIMENSIONS ARE TO:**
 - FACE OF MASONRY
 - FACE OF STUD
 - FACE OF CONCRETE
 - CENTERLINE OF WINDOW OPENING
 - ROUGH OPENING
 - MASONRY OPENING
 - INTERIOR DIMENSIONS ARE TO:**
 - FACE OF MASONRY
 - FACE OF STUD
 - FACE OF EXISTING FINISH MATERIAL
 - EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.**
- TYPICAL DETAIL NOTES:**
 - THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS.
 - ALL COLUMNS ADJACENT TO OR INTEGRAL WITH EXTERIOR WALL CONSTRUCTION SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
 - ALL COLUMNS LOCATED ADJACENT TO OR INTEGRAL WITH CMU OR GWB PARTITIONS SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
 - ALL FREESTANDING COLUMNS SHALL BE ENCLOSED WITH GWB ON METAL LGMF.
 - ALL GWB PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.
 - ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.
 - ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
 - ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

PLAN NOTE:

- USE 0.0 AS STARTING POINT(S) FOR LAYING OUT NEW WORK
- BEGIN LAYOUT OF NEW WORK AT 0.0 ONCE INTERIOR FINISHES HAVE BEEN REMOVED.
- CONTRACTOR TO LAYOUT NEW WALLS ONE EXISTING SUBFLOOR PRIOR TO REMOVAL OF STRUCTURAL FLOOR. DOCUMENT LAYOUT AND SUBMIT TO ARCHITECT AS SHOP DRAWING. MEETING WITH ARCHITECT AND OWNER TO REVIEW AND DISCUSS POTENTIAL DISCREPANCIES AND ADJUSTMENTS.



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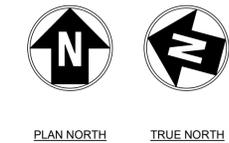
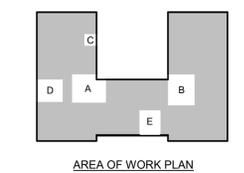
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ISSUE
09/15/2023

TITLE
OVERALL FLOOR
PLAN - ATTIC

SHEET
A104

MALLETT HALL



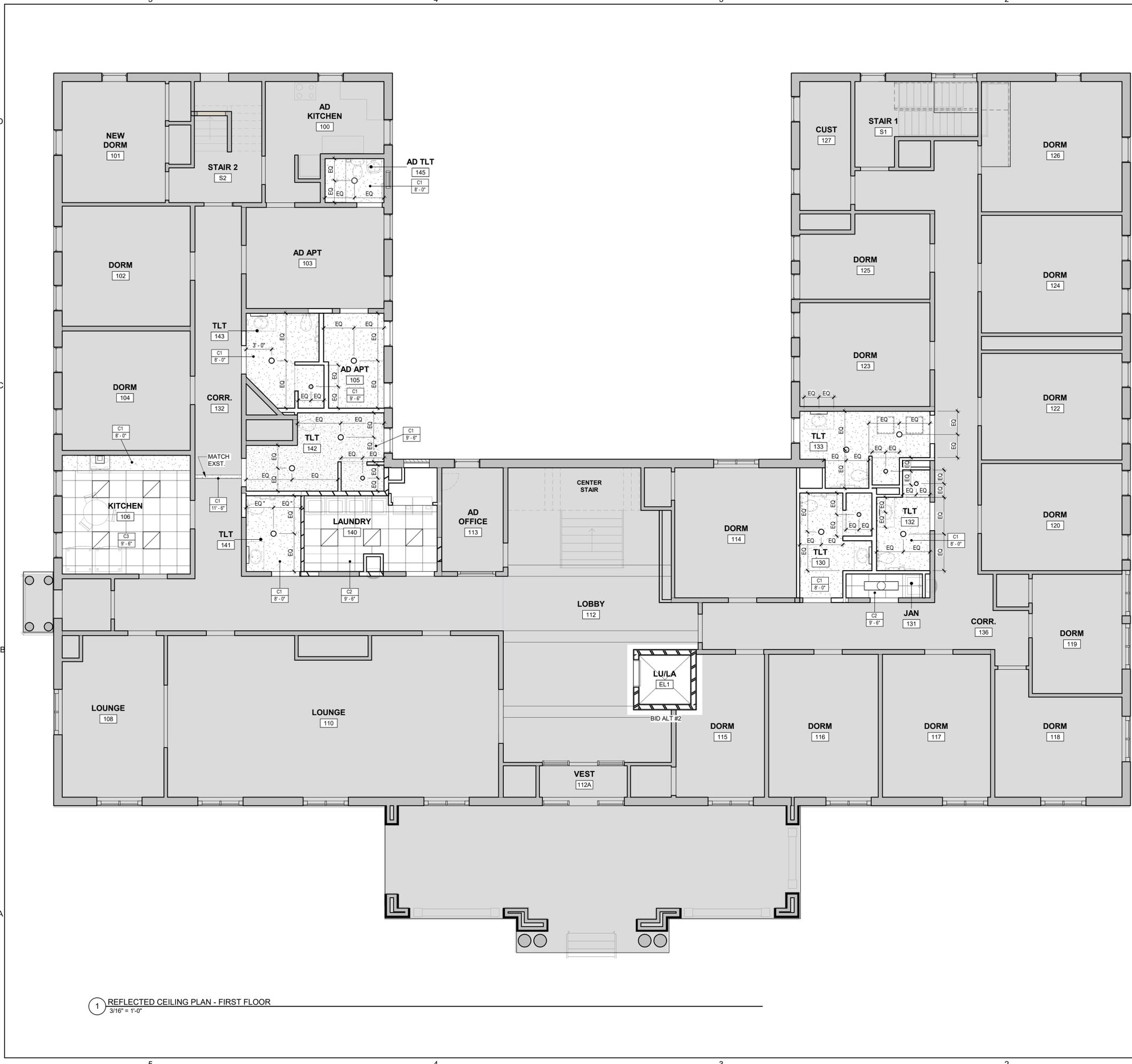
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1



CEILING NOTES

1. CEILING PLANS DO NOT SHOW EVERY FIXTURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
2. CENTER GRID LAYOUT IN ALL ROOMS UNLESS NOTED OTHERWISE.
3. ALL COMPONENTS MOUNTED IN OR BELOW A SUSPENDED ACOUSTIC CEILING SHALL BE CENTERED IN THE CEILING TILE OR IN THE 2X2 PORTION OF TEGULAR CEILING TILES, UNLESS NOTED OTHERWISE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, LIGHT FIXTURES, DIFFUSERS, SPEAKERS, SMOKE DETECTORS, AND SPRINKLER HEADS.
4. PRIOR TO THE INSTALLATION OF CEILINGS, ALLOW FOR AN ABOVE-CEILING REVIEW OF COMPONENTS THAT WILL NOT BE VISIBLE WHEN THE CEILINGS HAVE BEEN INSTALLED, INCLUDING INSPECTION OF FIRE, SMOKE, AND ACOUSTICAL SEPARATIONS.

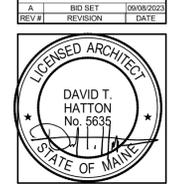
CEILING LEGEND

C1	CEILING TYPE
9'-0"	CEILING HEIGHT A.F.F.
C1	SUSPENDED GYPSUM BOARD CEILING
C2	2X2 ACT CEILING WITH TEGULAR EDGE
C3	2X2 SCRUBBABLE ACT CEILING WITH TEGULAR EDGE
XC1	EXISTING CEILING TO REMAIN
(Symbol)	RECESSED CAN LIGHT FIXTURE
(Symbol)	CONCEALED SPRINKLER HEAD
(Symbol)	SURFACE MOUNTED LIGHT FIXTURE
(Symbol)	RECESSED LIGHT FIXTURE
(Symbol)	EXIT SIGN

CHA ARCHITECTURE
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082184

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ISSUE
09/15/2023

TITLE
REFLECTED CEILING PLAN - FIRST FLOOR

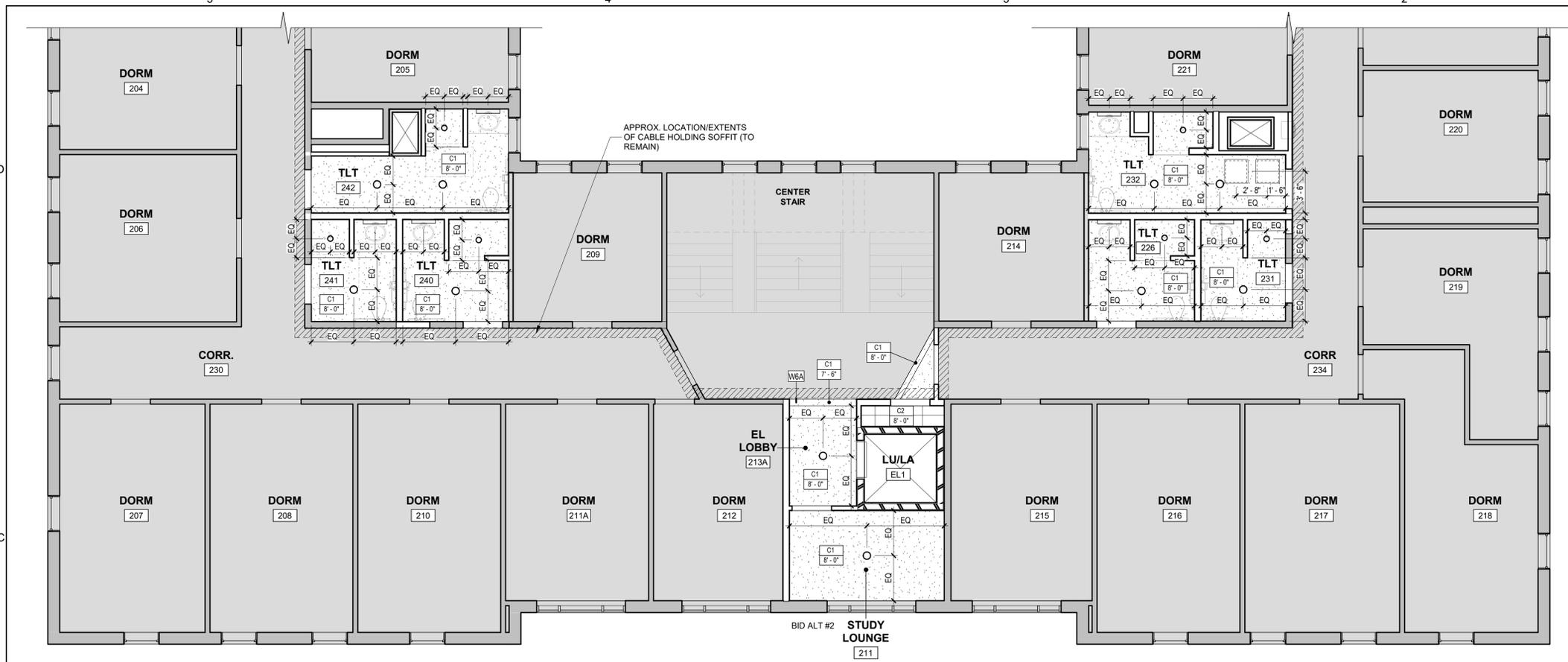
SHEET
A110

MALLETT HALL

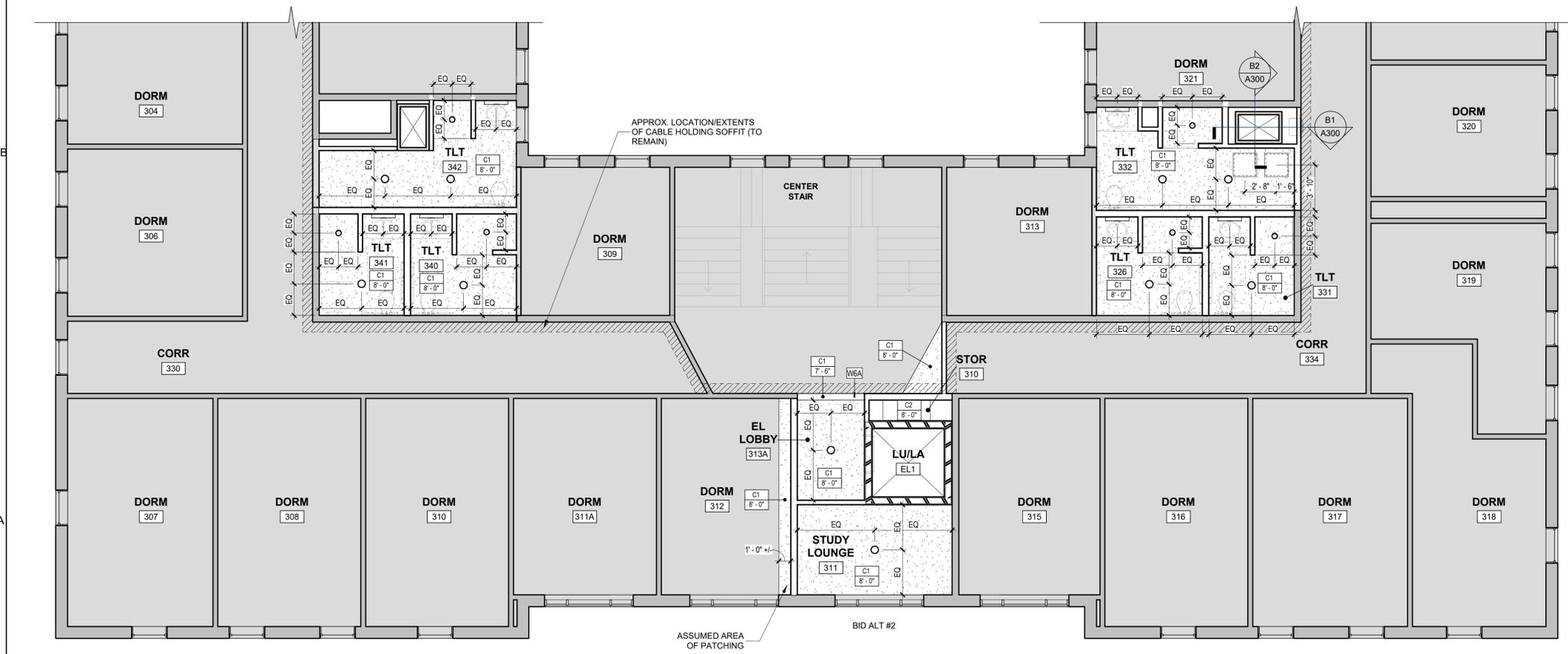
AREA OF WORK PLAN

PLAN NORTH TRUE NORTH

1 REFLECTED CEILING PLAN - FIRST FLOOR
 3/16" = 1'-0"



C5 REFLECTED CEILING PLAN - SECOND FLOOR
3/16" = 1'-0"



A5 REFLECTED CEILING PLAN - THIRD FLOOR
3/16" = 1'-0"

- CEILING NOTES**
1. CEILING PLANS DO NOT SHOW EVERY FIXTURE OR COMPONENT. REFER TO ELECTRICAL, PLUMBING, MECHANICAL AND STRUCTURAL DRAWINGS FOR EXTENT OF ALL CEILING PENETRATIONS AND INSTALLATIONS AND COORDINATE PRIOR TO INSTALLATION.
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 3. ALL COMPONENTS MOUNTED IN OR BELOW A SUSPENDED ACOUSTIC CEILING SHALL BE CENTERED IN THE CEILING TILE OR IN THE 2X2 PORTION OF TEGULAR CEILING TILES, UNLESS NOTED OTHERWISE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, LIGHT FIXTURES, DIFFUSERS, SPEAKERS, SMOKE DETECTORS, AND SPRINKLER HEADS.
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CEILING LEGEND

C1	CEILING TYPE
9'-0"	CEILING HEIGHT A.F.F.
C1	SUSPENDED GYPSUM BOARD CEILING
C2	2X2 ACT CEILING WITH TEGULAR EDGE
C3	2X2 SCRUBBABLE ACT CEILING WITH TEGULAR EDGE
XC1	EXISTING CEILING TO REMAIN
○	RECESSED CAN LIGHT FIXTURE
○	CONCEALED SPRINKLER HEAD
○	SURFACE MOUNTED LIGHT FIXTURE
◻	RECESSED LIGHT FIXTURE
⊙	EXIT SIGN



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ISSUE
09/15/2023

TITLE
REFLECTED
CEILING PLAN -
SECOND & THIRD
FLOOR

SHEET
A111

MALLETT HALL

AREA OF WORK PLAN

PLAN NORTH TRUE NORTH

A	BID SET	09/08/2023
REV #	REVISION	DATE



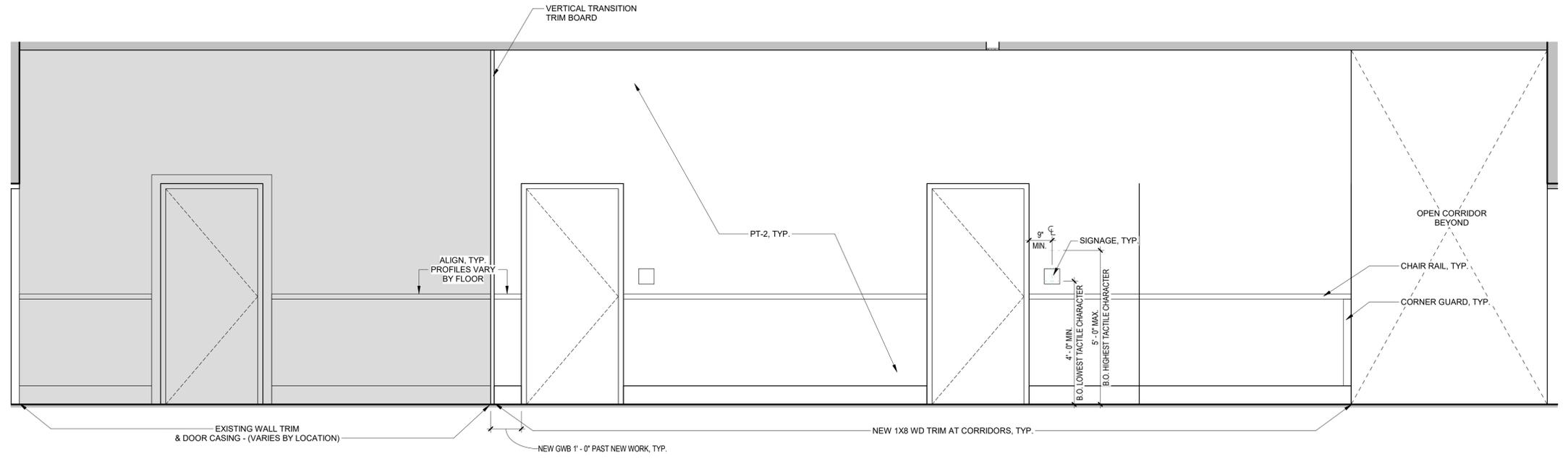
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ISSUE
09/15/2023

TITLE
INTERIOR
ELEVATIONS

SHEET
A200



1 TYP. CORRIDOR ELEVATION
1/2" = 1'-0"

D

C

B

A

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3

2

1

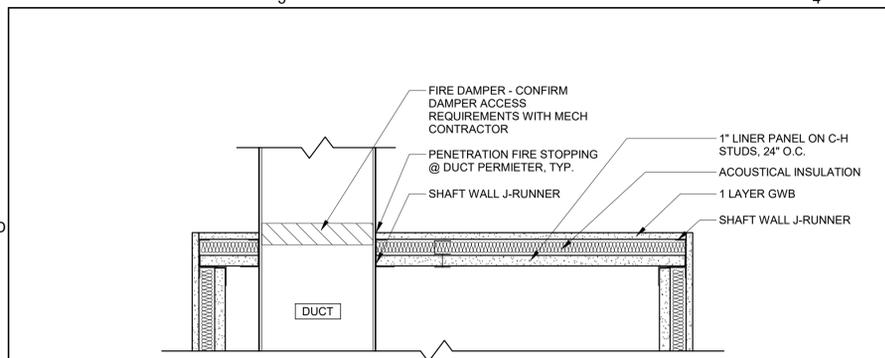
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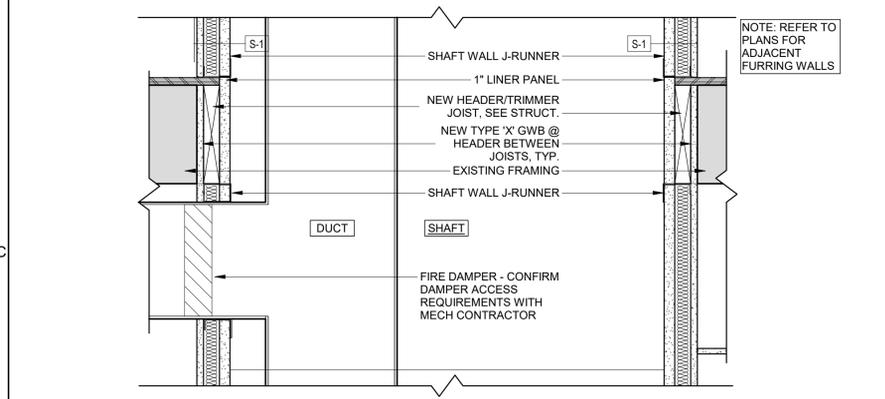
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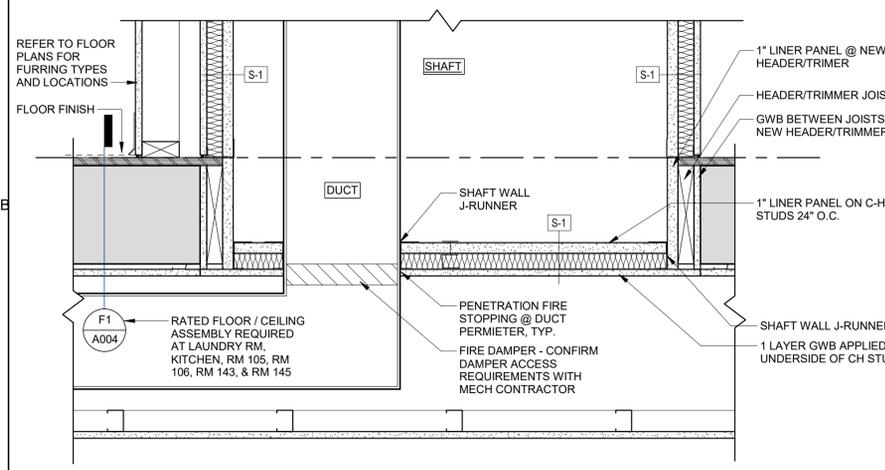
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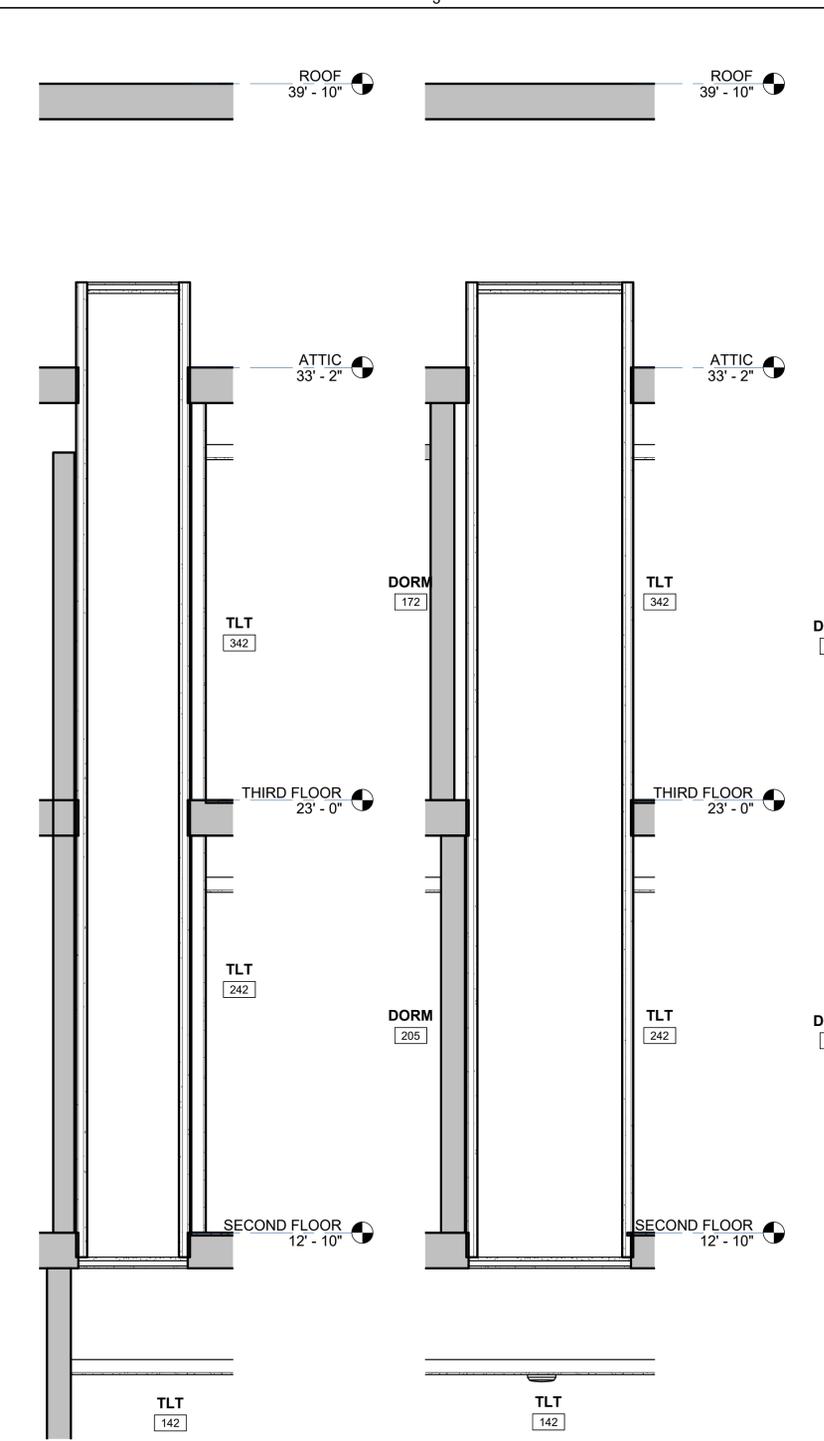
D5 MECH. SHAFT CAP1
1/2" = 1'-0"



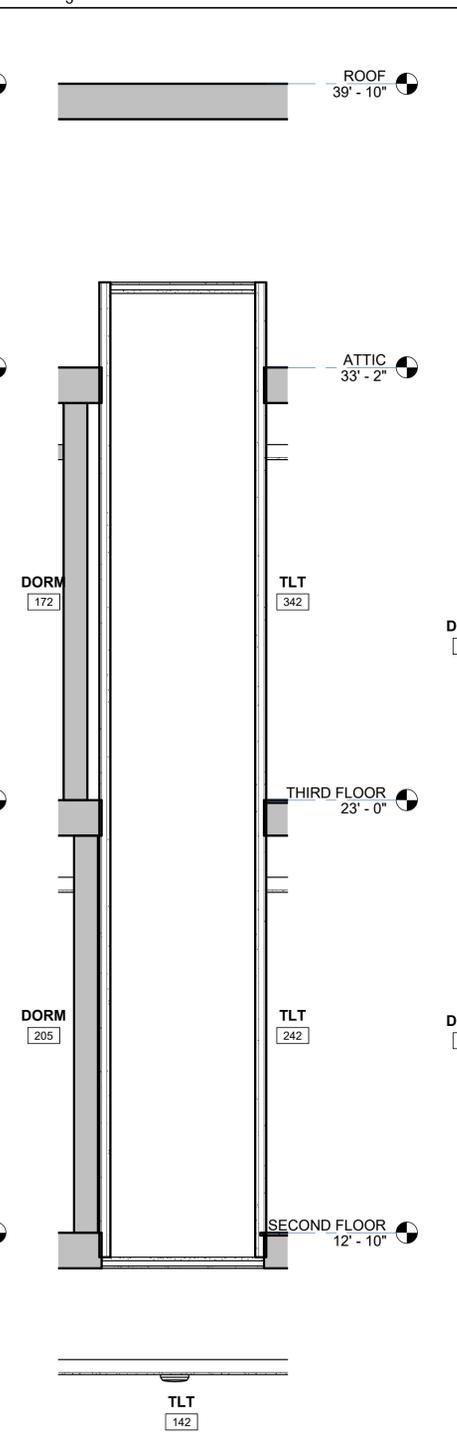
C5 MECH. SHAFT @ TYP. FLOOR OPENING1
1/2" = 1'-0"



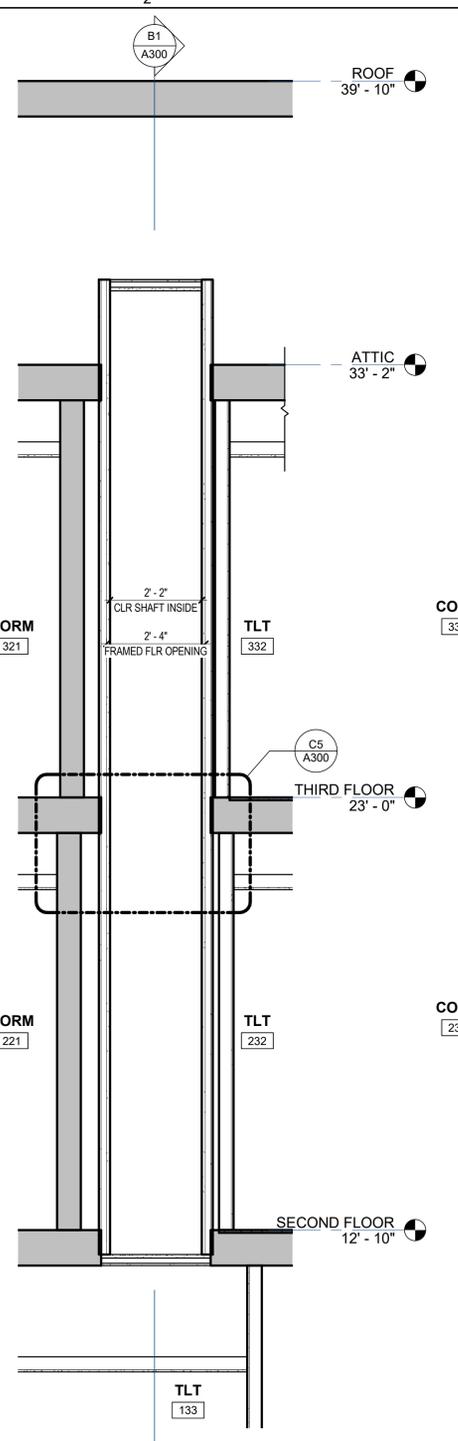
B5 BOTTOM OF MECH. SHAFT @ FLOOR
1/2" = 1'-0"



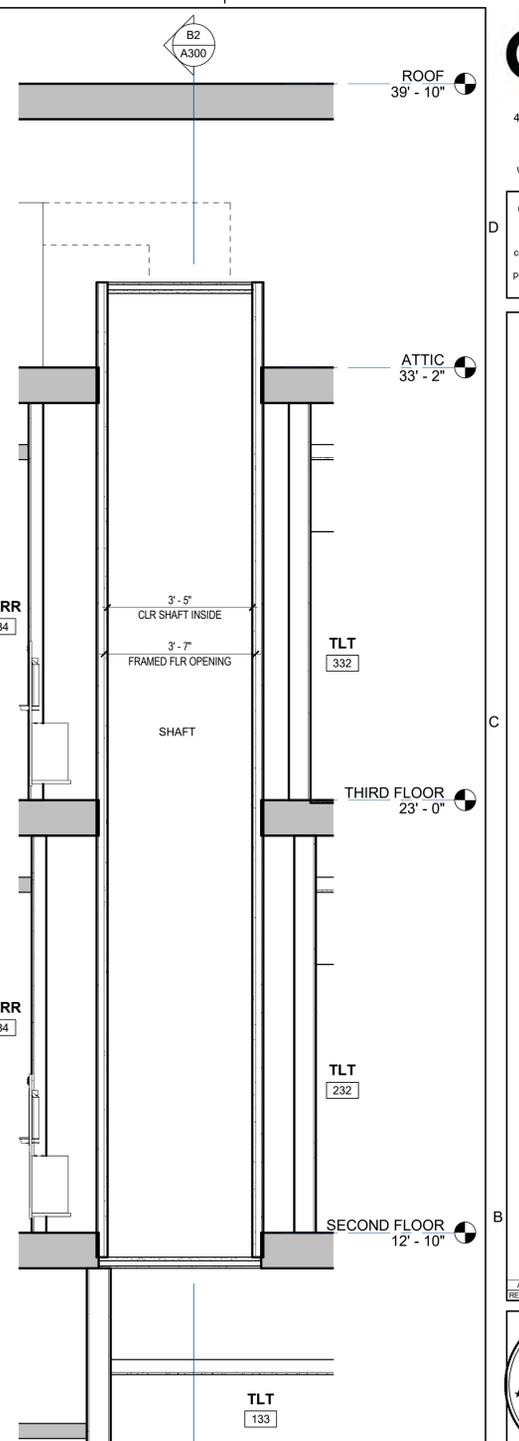
B4 NORTH SHAFT SECTION B
1/2" = 1'-0"



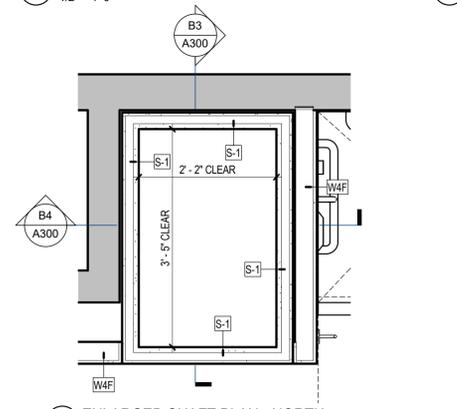
B3 NORTH SHAFT SECTION A
1/2" = 1'-0"



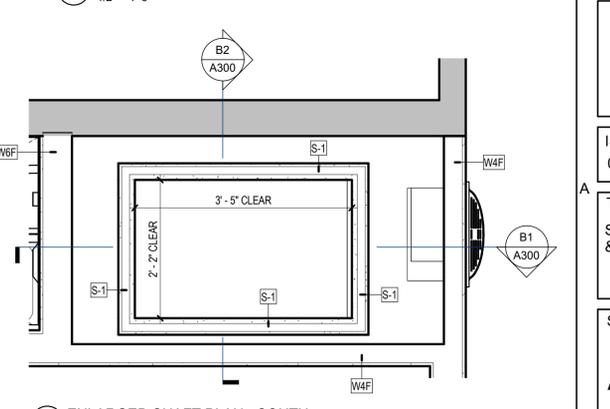
B2 SHAFT SECTION
1/2" = 1'-0"



B1 SHAFT SECTION
1/2" = 1'-0"



A3 ENLARGED SHAFT PLAN - NORTH
3/4" = 1'-0"



A1 ENLARGED SHAFT PLAN - SOUTH
3/4" = 1'-0"

REV #	BID SET REVISION	09/08/2023 DATE
A		



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ISSUE
09/15/2023

TITLE
BID ALT #1 - RAMP
SECTIONS &
DETAILS

SHEET

A401

D

C

B

A

D

C

B

A

5

4

3

2

1

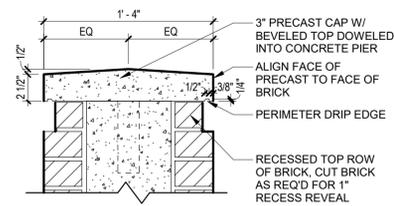
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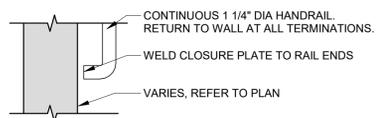
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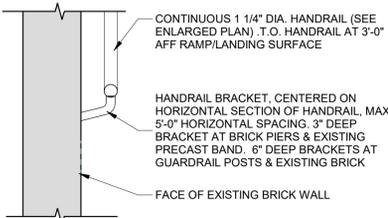
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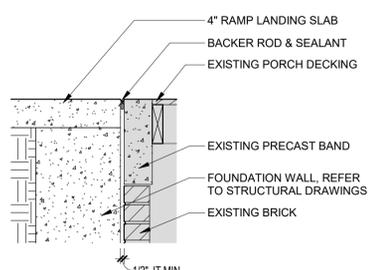
D5 PRECAST CAP DETAIL
1 1/2" x 1'-0"



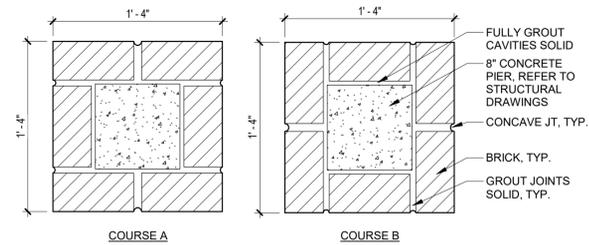
C5 HANDRAIL RETURN
1 1/2" x 1'-0"



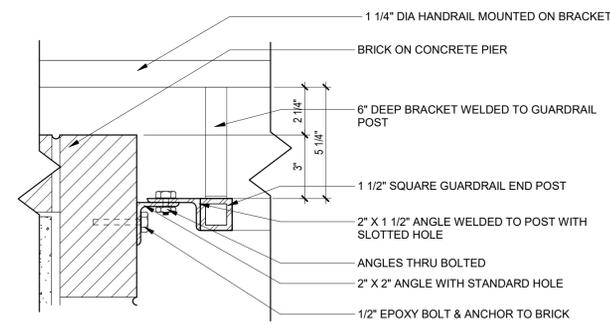
B5 HANDRAIL DETAIL @ EXISTING
1 1/2" x 1'-0"



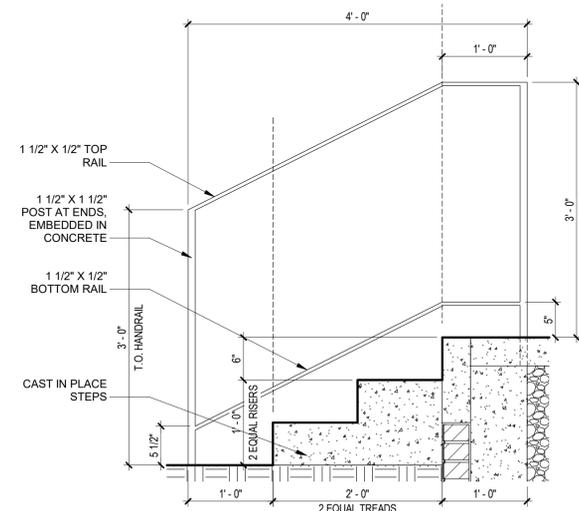
A3A3 LANDING TO PORCH DETAIL
1'-1'-0"



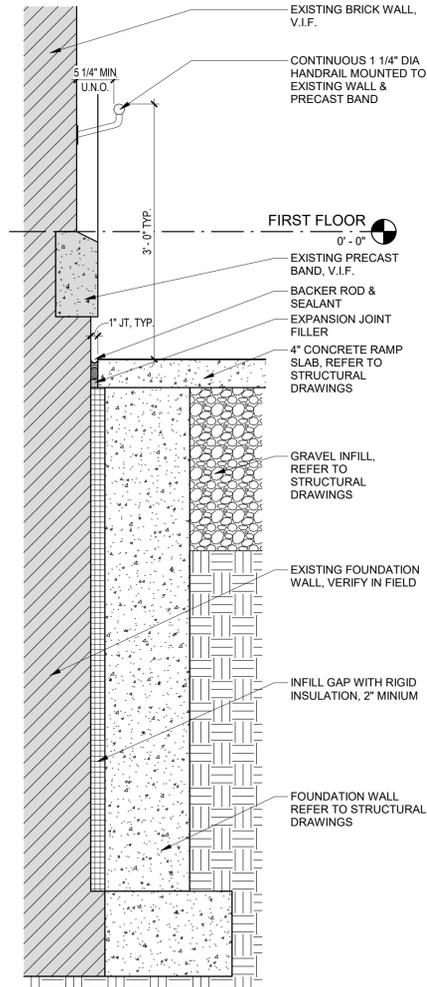
D4 TYP. BRICK PIER LAYOUT - PLAN
1 1/2" x 1'-0"



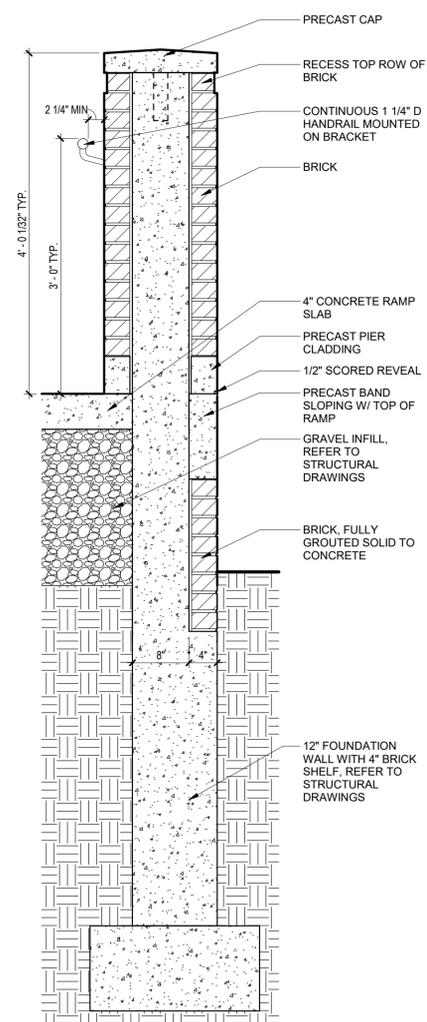
B4 TYP. GUARDRAIL BRACE AT PIER
3" x 1'-0"



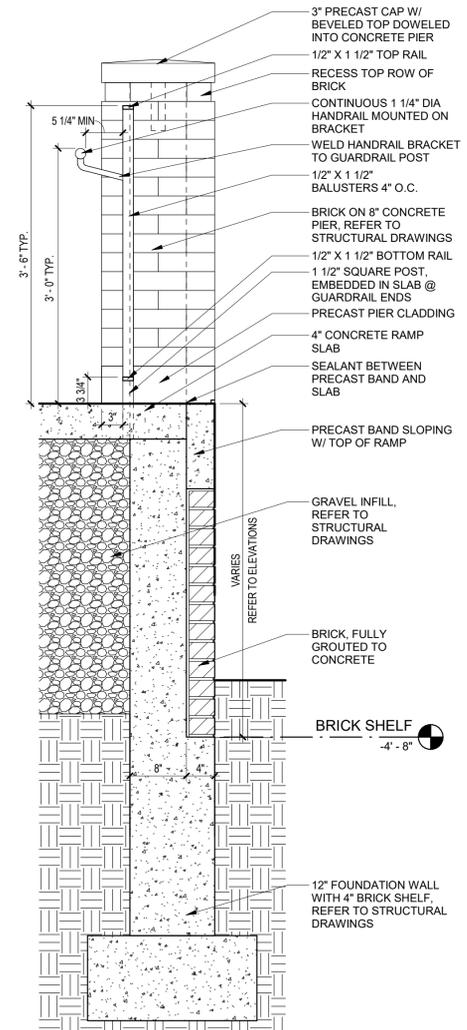
A4 CAST IN PLACE STEPS SECTION
1'-1'-0"



A3 SECTION @ EXISTING
1'-1'-0"

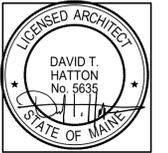


A2 SECTION @ PIER
1'-1'-0"



A1 SECTION @ RAMP
1'-1'-0"

A	BID SET	09/08/2023
REV #1	REVISION	DATE



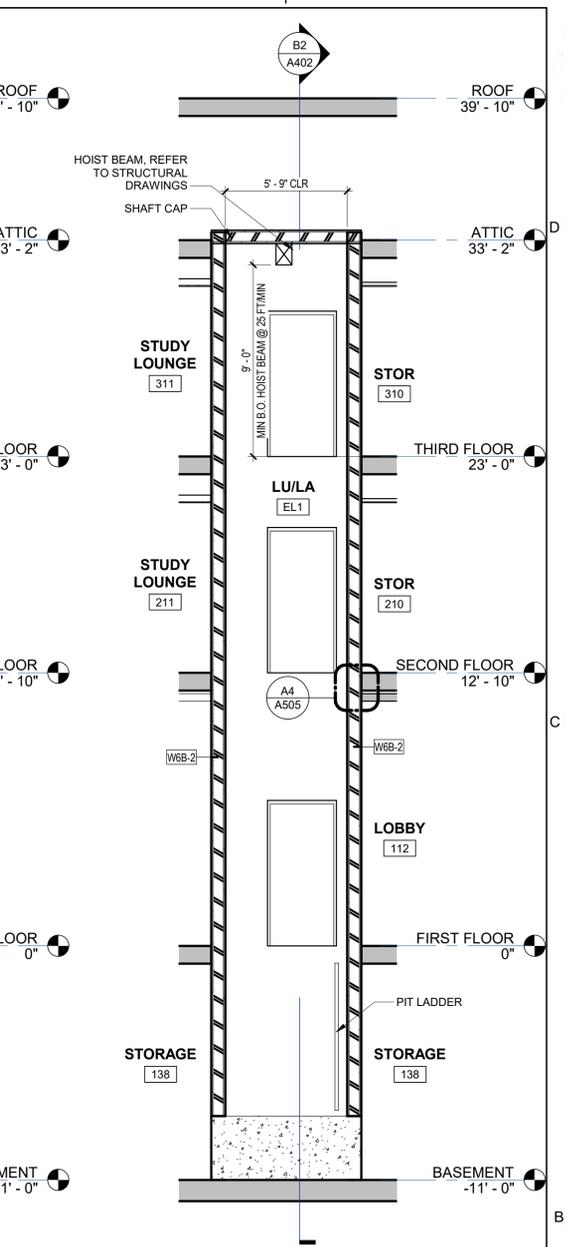
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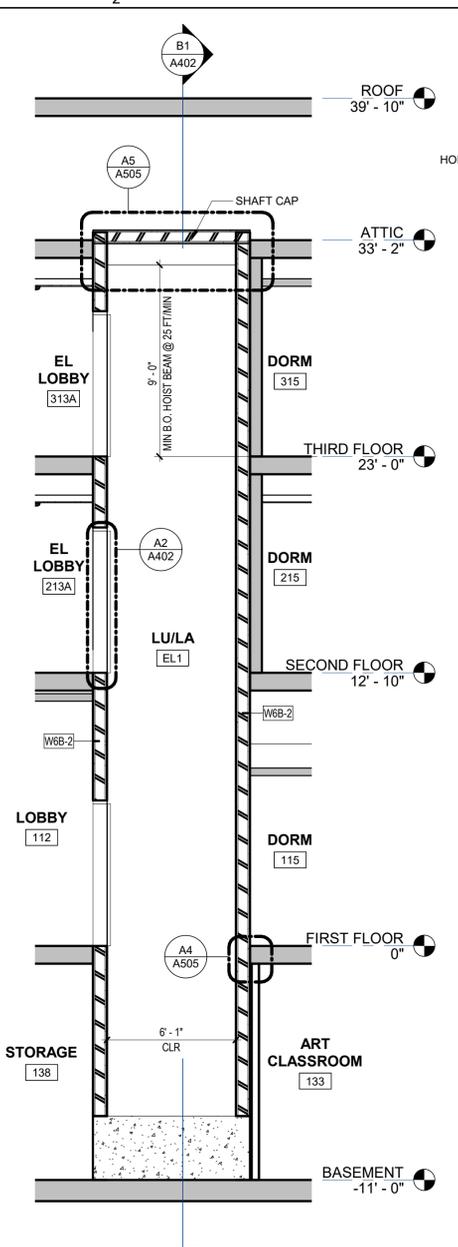
ISSUE
09/15/2023

TITLE
BID ALT #2 -
ELEVATOR PLANS
& SECTIONS

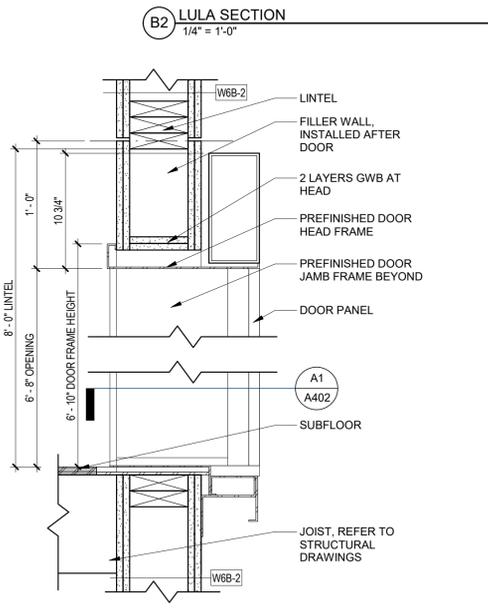
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A402



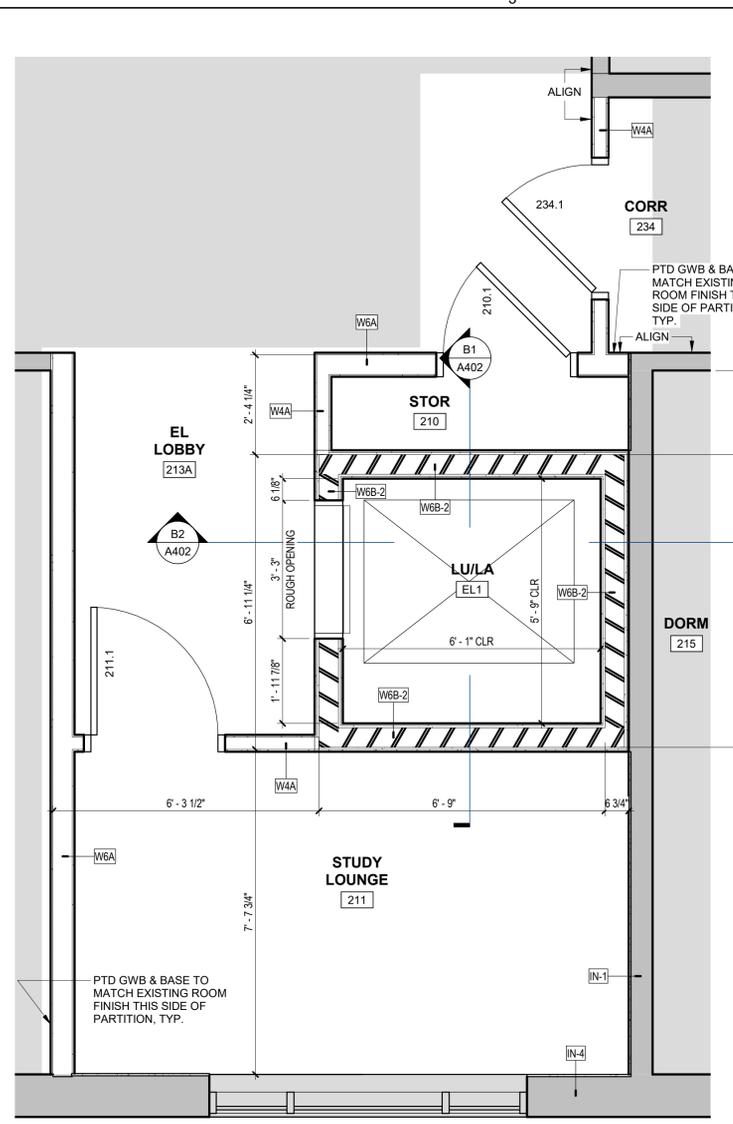
B1 LULA SECTION
1/4" = 1'-0"



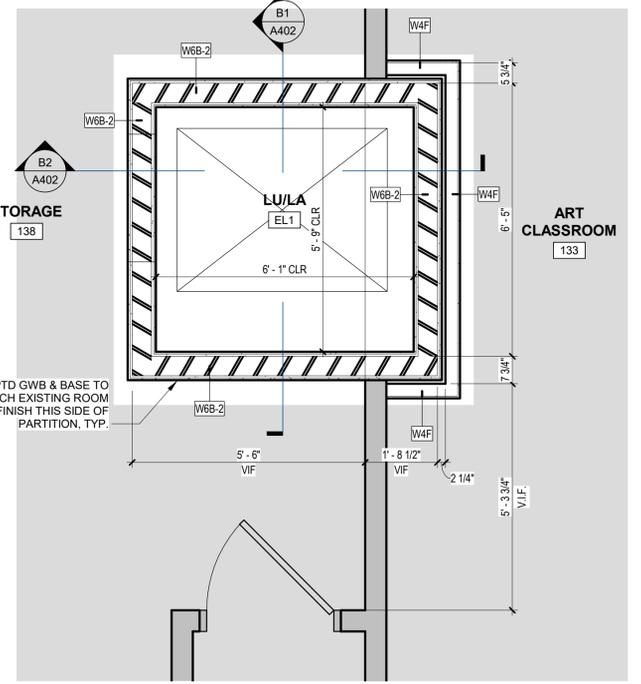
B2 LULA SECTION
1/4" = 1'-0"



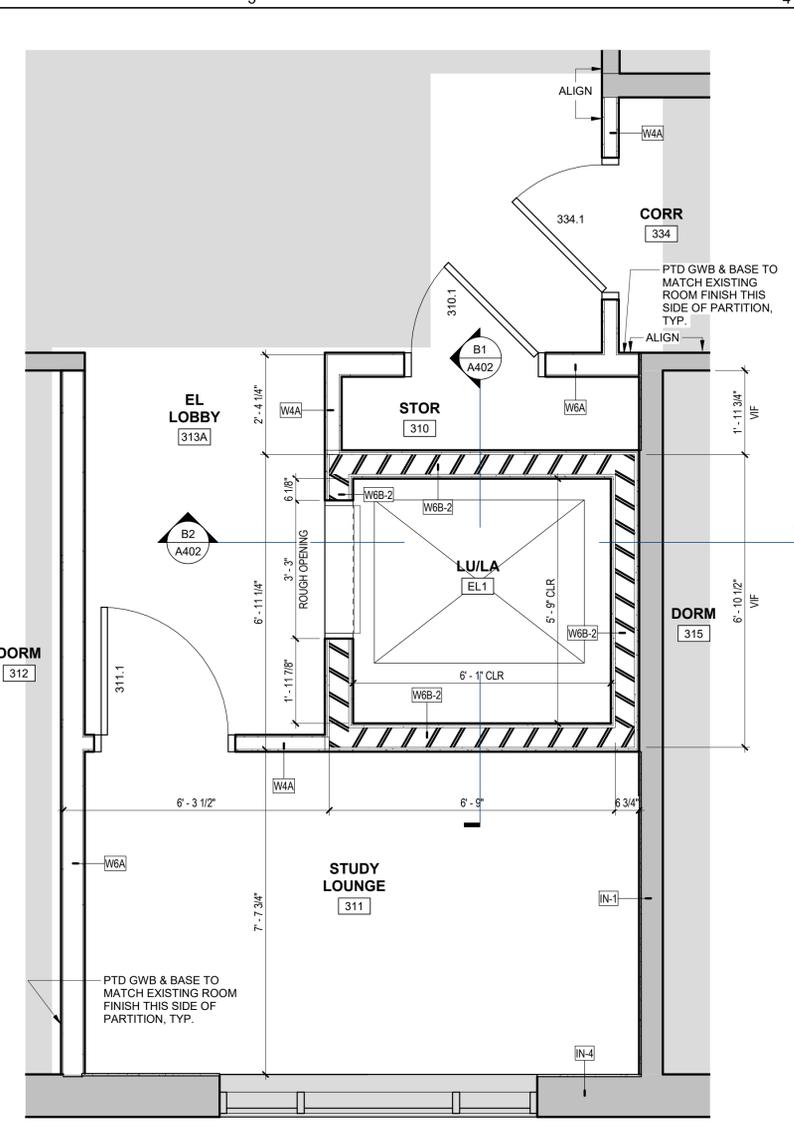
A2 ELEVATOR DOOR HEAD/SILL
1 1/2" = 1'-0"



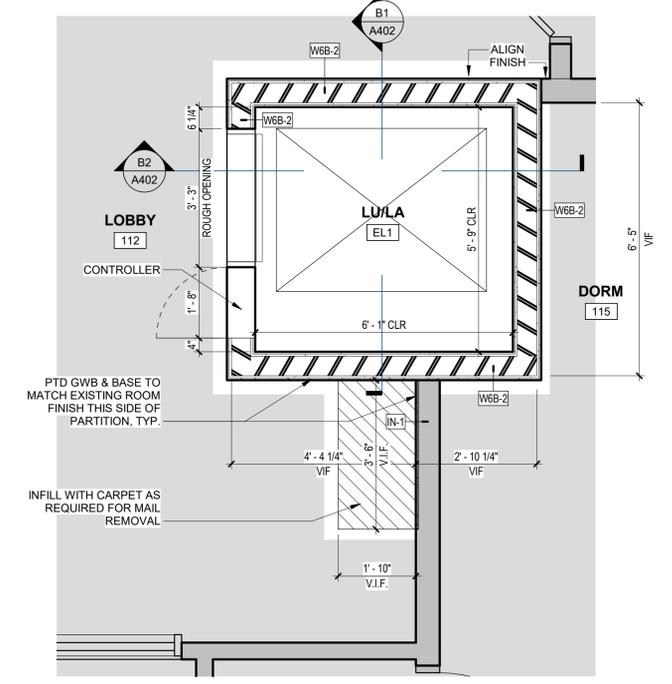
B4 LULA ENLARGED PLAN - SECOND FLOOR
1/2" = 1'-0"



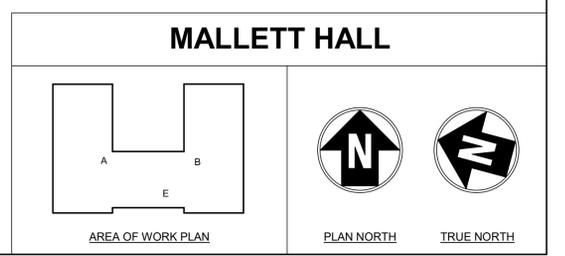
A4 LULA ENLARGED PLAN - BASEMENT
1/2" = 1'-0"



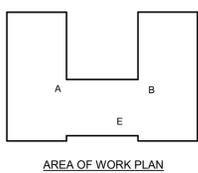
B5 LULA ENLARGED PLAN - THIRD FLOOR
1/2" = 1'-0"



A5 LULA ENLARGED PLAN - FIRST FLOOR
1/2" = 1'-0"



MALLETT HALL



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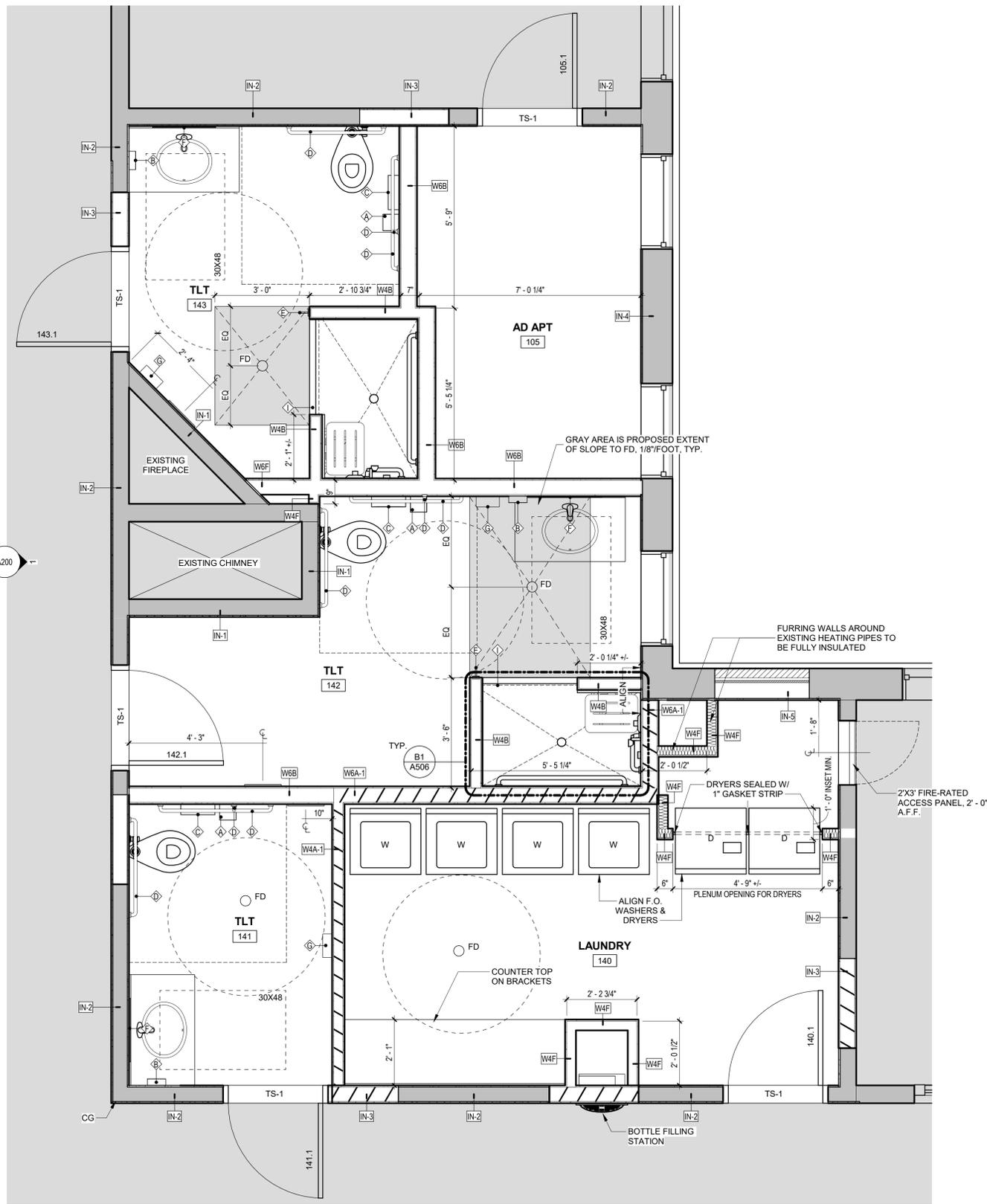
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1 ENLARGED PLAN - FIRST FLOOR - AREA A
1/2" = 1'-0"

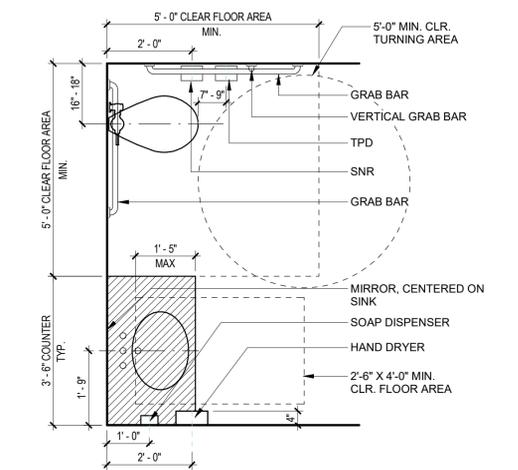
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- DIMENSIONAL CONTROL:**
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 - FACE OF STUD
 - FACE OF CONCRETE
 - CENTERLINE OF WINDOW OPENING
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 - MASONRY OPENING
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 - ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

TOILET ACCESSORY SCHEDULE

MARK	ACCESSORY	NOTES
A	TOILET PAPER DISPENSER	BY OWNER, CONTRACTOR INSTALLED
B	SOAP DISPENSER	BY OWNER, CONTRACTOR INSTALLED
C	SANITARY NAPKIN DISPOSAL	BY OWNER, CONTRACTOR INSTALLED
D	GRAB BARS - 18", 36", 42"	
E	ROBE HOOK @ 60" & 54" A.F.F.	
F-1	MIRROR	
F-2	MIRROR	
G	HAND DRYER	
H	SHOWER SEAT - 20", 33"	20" @ 3'X5' SHWR, 33" @ 3'X3' SHWR
I	SHOWER ROD - 36", 60"	
J	VANITY SHELF	
K	24" TOWEL BAR	

NOTE: REFER TO SPECIFICATIONS FOR MORE INFORMATION ON ACCESSORIES



TYP. BARRIER FREE SINGLE TOILET PLAN
1/2" = 1'-0"

MALLETT HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH

CHA ARCHITECTURE
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MALLETT HALL RENOVATION
 180 HIGH ST. FARMINGTON, ME 04086
 UNIVERSITY OF MAINE AT FARMINGTON

REV #	BID SET REVISION	DATE
A		09/08/2023

LICENSED ARCHITECT
DAVID T. HATTON
No. 5635
STATE OF MAINE

JOB NO.
082184

ISSUED FOR BID & PERMIT

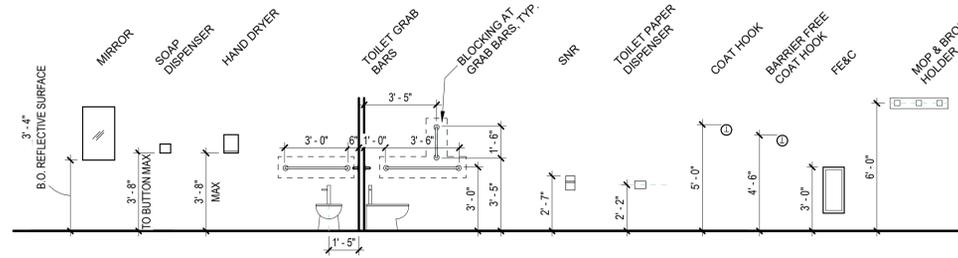
ISSUE
09/15/2023

TITLE
ENLARGED PLAN - FIRST FLOOR - AREA A

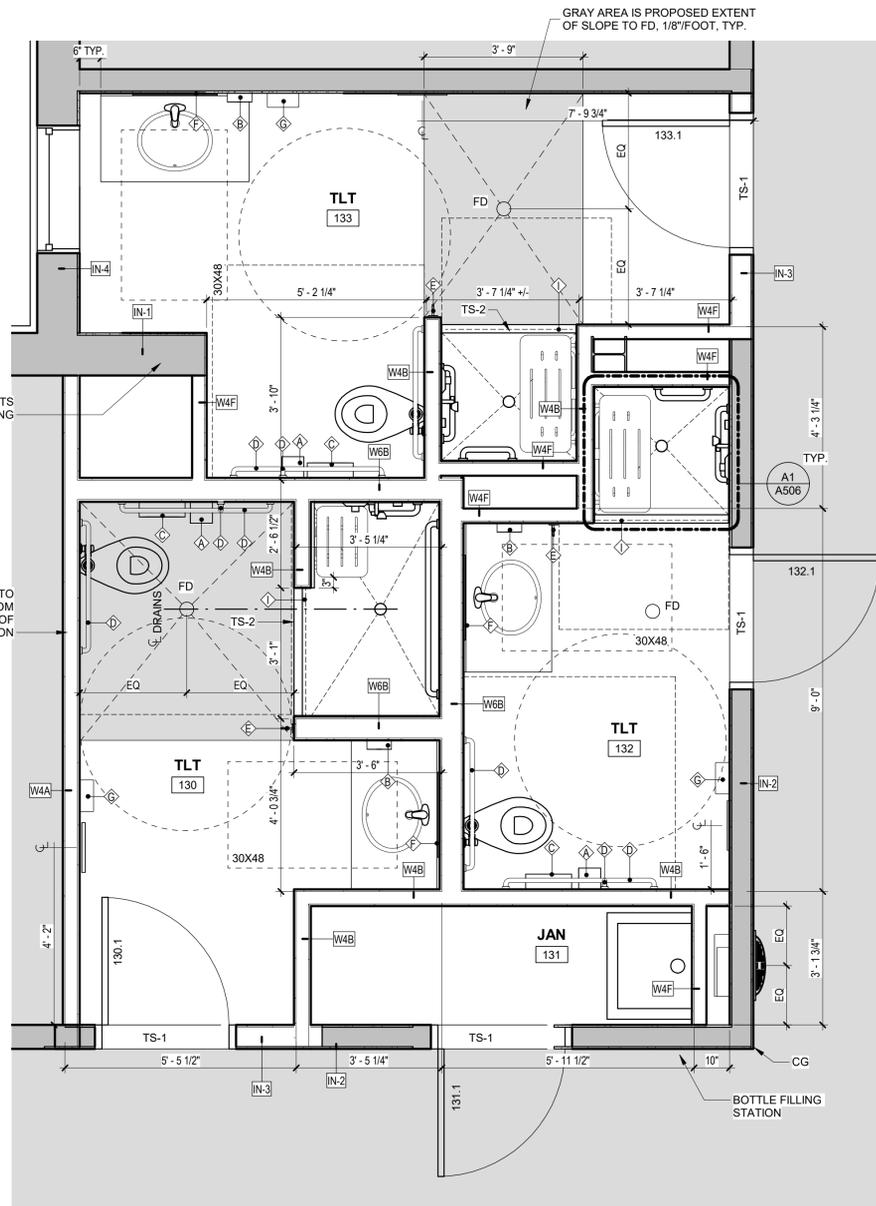
SHEET
A500

ROOM FINISH SCHEDULE										
LEVEL	ROOM #	ROOM NAME	FLOOR	BASE MATL	WALLS				NOTES	Ceiling Finish
					N	S	E	W		
FIRST FLOOR	106	KITCHEN	LVT-1	RB-1	WT-3	PT	PT	PT		PT
FIRST FLOOR	130	TLT	VF-1	VB-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1		PT
FIRST FLOOR	131	JAN	VF-1	VB-1						PT
FIRST FLOOR	132	TLT	VF-1	VB-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1		PT
FIRST FLOOR	133	TLT	VF-1	VB-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1		PT
FIRST FLOOR	140	LAUNDRY	VF-1	VB-1						PT
FIRST FLOOR	141	TLT	VF-1	VB-1	WT-2, PT-2	WT-2, PT-2	WT-2, PT-2	WT-2, PT-2		PT
FIRST FLOOR	142	TLT	VF-1	VB-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1		PT
FIRST FLOOR	143	TLT	VF-1	VB-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1		PT
FIRST FLOOR	145	AD TLT	VF-1	VB-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1		PT
SECOND FLOOR	210	STOR	CPT	RB-1						PT
SECOND FLOOR	211	STUDY LOUNGE	CPT	RB-1						PT
SECOND FLOOR	213A	EL LOBBY	CPT	RB-1						PT
SECOND FLOOR	226	TLT	VF-1	VB-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1		PT
SECOND FLOOR	231	TLT	VF-1	VB-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1		PT
SECOND FLOOR	232	TLT	VF-1	VB-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1		PT
SECOND FLOOR	240	TLT	VF-1	VB-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1		PT
SECOND FLOOR	241	TLT	VF-1	VB-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1		PT
SECOND FLOOR	242	TLT	VF-1	VB-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1		PT
THIRD FLOOR	310	STOR	CPT							PT
THIRD FLOOR	311	STUDY LOUNGE	CPT							PT
THIRD FLOOR	313A	EL LOBBY	CPT							PT
THIRD FLOOR	326	TLT	VF-1	VB-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1		PT
THIRD FLOOR	331	TLT	VF-1	VB-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1		PT
THIRD FLOOR	332	TLT	VF-1	VB-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1		PT
THIRD FLOOR	340	TLT	VF-1	VB-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1		PT
THIRD FLOOR	341	TLT	VF-1	VB-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1		PT
THIRD FLOOR	342	TLT	VF-1	VB-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1	WT-1, PT-1		PT

FINISH LEGEND					
TAG	DESCRIPTION	MANUFACTURER	MODEL	COLOR/PATTERN	NOTES
SS-1	SOLID SURFACE	CORIAN		DOMINO TERRAZO	COUNTERTOP AT PUBLIC TLT
SS-2	SOLID SURFACE	CORIAN		PEBBLE TERRAZO	COUNTERTOP AT RESIDENT TLT
SS-3	SOLID SURFACE	CORIAN		SPARKLING WHITE	SILLS, KITCHEN COUNTER
SS-4	SOLID SURFACE	CORIAN		PEARL GRAY	TS-1
PLAM-1	PLASTIC LAMINATE	ARBORITE	W489 CW	WEATHERED ARCADIAN OAK	ADA APRON AT PUBLIC TLT
PLAM-2	PLASTIC LAMINATE	ARBORITE	W481-CW	ESSENTIAL NORDIC WOOD	ADA APRON AT RESIDENT TLT
PLAM-3	PLASTIC LAMINATE	WILSONART		STEEL MESH	
WT-1	WALL TILE	EMSER TILE	EXHALE 6X12	BLANCO	
WT-2	WALL TILE	EMSER TILE	EXHALE 6X12	CELIO	
WT-3	WALL TILE	NEMO TILE	METRO 2X8	WHITE GLOSSY	
VF-1	VINYL FLOOR	ALTRO	AQUARIUS	ANCHOVY	
VB-1	INTEGRAL VINYL BASE	ALTRO	AQUARIUS	ANCHOVY	
LVT-1	LUXURY VINYL FLOOR	INTERFACE	TEXTURED WOODGRAINS	ANTIQUE LIGHT OAK	
RB-1	6" RESILIENT BASE	JOHNSONITE			
CB-1	COVE BASE	NEMO TILE	METRO 3X6 COVE BASE	WHITE GLOSSY	
PT-1	PAINT	SHERWIN WILLIAMS			
PT-2	PAINT	SHERWIN WILLIAMS			
PT-3	PAINT	SHERWIN WILLIAMS			
PT-4	PAINT	SHERWIN WILLIAMS			



- MOUNTING HEIGHT GENERAL NOTES:**
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR SPECIFIC FIXTURE OR DEVICE LOCATION, DESIGNATION AND ADDITIONAL MOUNTING REQUIREMENTS.
 - COORDINATE LOCATION OF RECEPTACLES, FIXTURES OR DEVICES WITH INTERIOR ELEVATIONS AND CASEWORK LOCATIONS.
 - REFER TO MANUFACTURER'S INSTRUCTIONS FOR SPECIFIC ADA REQUIRED MOUNTING HEIGHTS AS APPLICABLE.



1 ENLARGED PLAN - FIRST FLOOR - AREA B
1/2" = 1'-0"

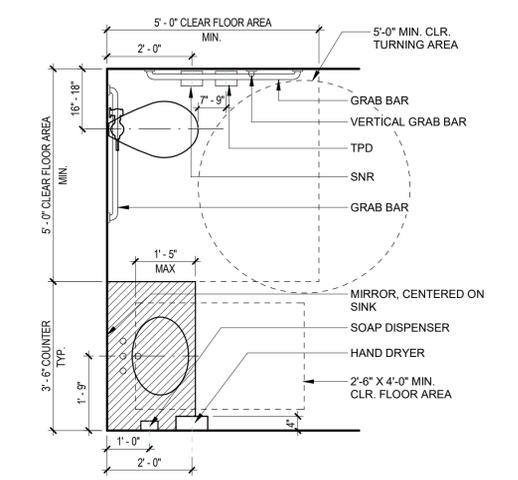
PLAN GENERAL NOTES

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- DO NOT SCALE THE DRAWINGS.
- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE: WOOD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**
 - EXTERIOR DIMENSIONS ARE TO:
 - FACE OF MASONRY
 - FACE OF STUD
 - FACE OF CONCRETE
 - CENTERLINE OF WINDOW OPENING
 - ROUGH OPENING
 - MASONRY OPENING
 - INTERIOR DIMENSIONS ARE TO:
 - FACE OF MASONRY
 - FACE OF STUD
 - FACE OF EXISTING FINISH MATERIAL
 - EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- TYPICAL DETAIL NOTES:**
 - THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS.
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 - ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.
 - ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
 - ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

TOILET ACCESSORY SCHEDULE

MARK	ACCESSORY	NOTES
A	TOILET PAPER DISPENSER	BY OWNER, CONTRACTOR INSTALLED
B	SOAP DISPENSER	BY OWNER, CONTRACTOR INSTALLED
C	SANITARY NAPKIN DISPOSAL	BY OWNER, CONTRACTOR INSTALLED
D	GRAB BARS - 18", 36", 42"	
E	ROBE HOOK @ 60" & 54" A.F.F.	
F-1	MIRROR	
F-2	MIRROR	
G	HAND DRYER	
H	SHOWER SEAT - 20", 33"	20" @ 3'X3' SHWR, 33" @ 3'X3' SHWR
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K	24" TOWEL BAR	

NOTE: REFER TO SPECIFICATIONS FOR MORE INFORMATION ON ACCESSORIES



TYP. BARRIER FREE SINGLE TOILET PLAN
1/2" = 1'-0"

MALLETT HALL

ENLARGED PLAN - FIRST FLOOR - AREA B, FINISH SCHEDULE & LEGEND

SHEET **A501**

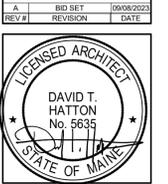
AREA OF WORK PLAN, PLAN NORTH, TRUE NORTH



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JOB NO.
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ISSUE
09/15/2023

TITLE
ENLARGED PLAN - FIRST FLOOR - AREA B, FINISH SCHEDULE & LEGEND

SHEET
A501

PLAN GENERAL NOTES

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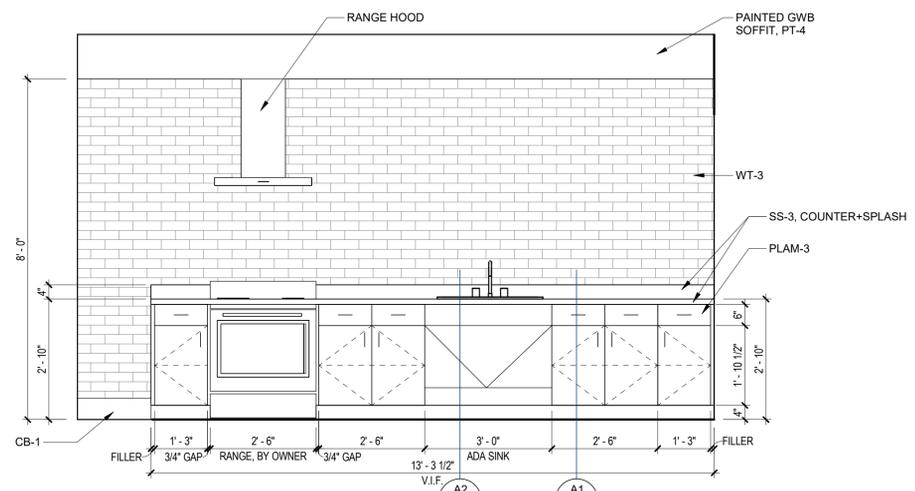
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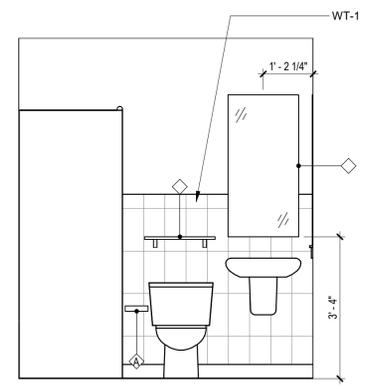
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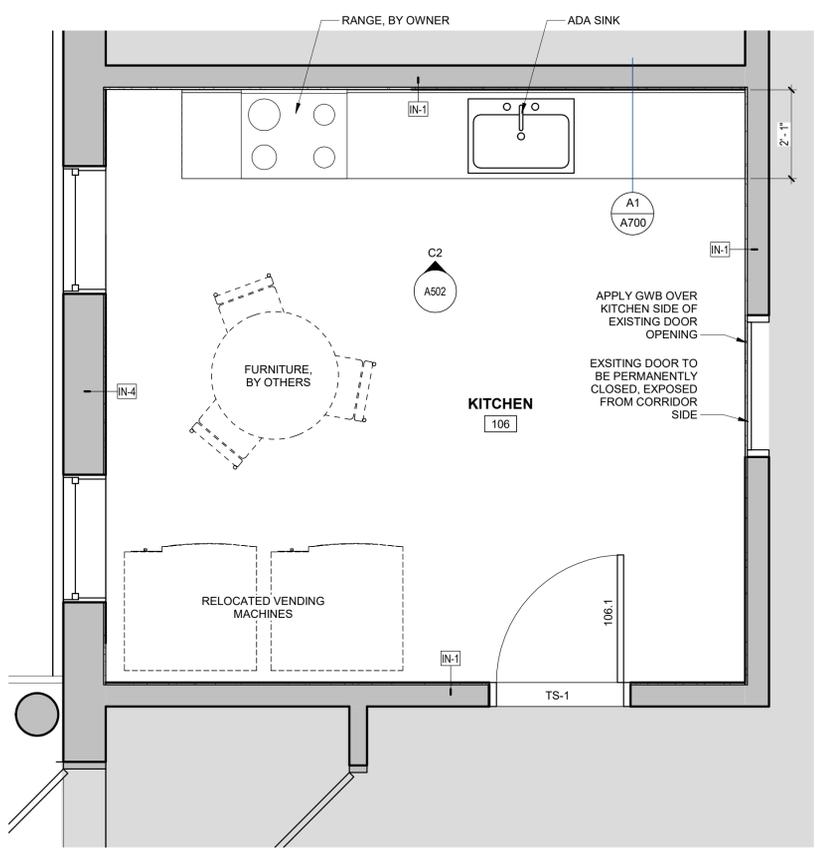
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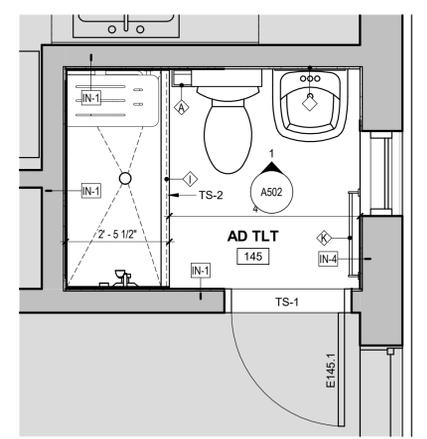
C2 KITCHEN- NORTH ELEVATION
1/2" = 1'-0"



1 AD TILT 145- NORTH ELEVATION
1/2" = 1'-0"



A2 ENLARGED PLAN - FIRST FLOOR - AREA D - KITCHEN
1/2" = 1'-0"

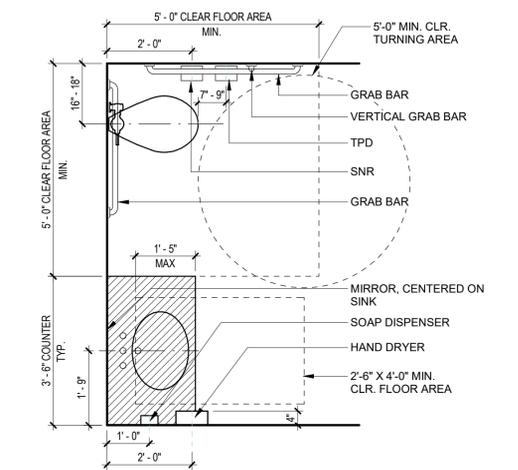


A1 ENLARGED PLAN- AD TLT 145
1/2" = 1'-0"

TOILET ACCESSORY SCHEDULE

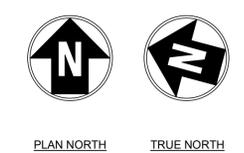
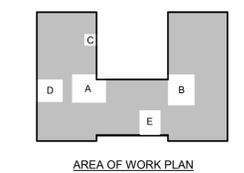
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TYP. BARRIER FREE SINGLE TOILET PLAN
1/2" = 1'-0"

MALLETT HALL



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REVISION | REVISION | DATE

LICENSED ARCHITECT
DAVID T. HATTON
No. 5635
STATE OF MAINE

JOB NO.
082184

ISSUED FOR BID & PERMIT

ISSUE
09/15/2023

TITLE
ENLARGED PLAN - FIRST FLOOR - AREA C & D

SHEET
A502

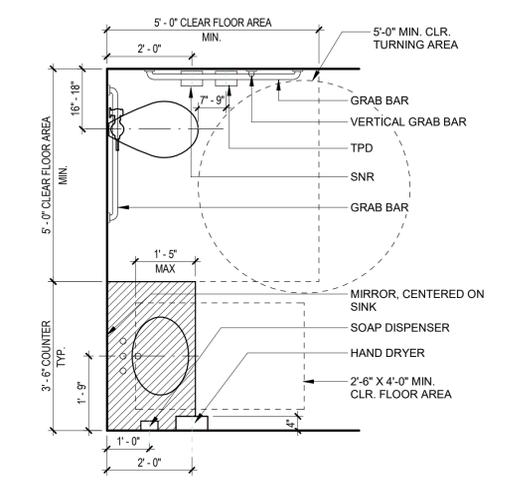
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TOILET ACCESSORY SCHEDULE

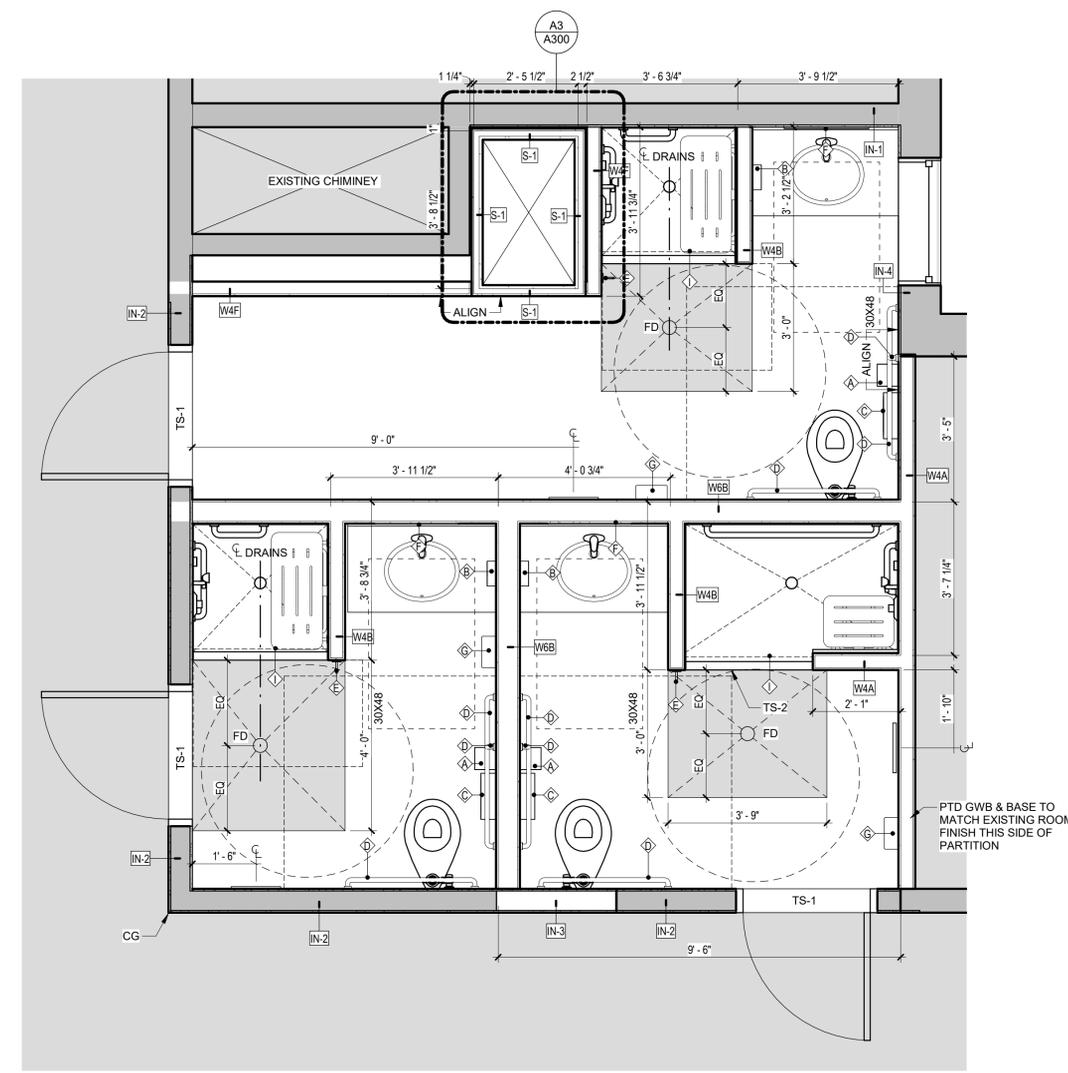
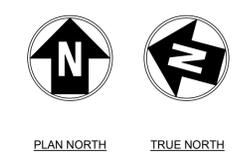
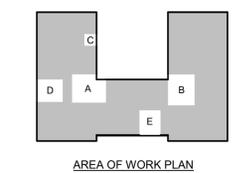
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TYP. BARRIER FREE SINGLE TOILET PLAN
1/2" = 1'-0"

MALLETT HALL



1 TYP. ENLARGED PLAN - SECOND & THIRD FLOOR - AREA A
1/2" = 1'-0"

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ISSUE
09/15/2023

TITLE
ENLARGED PLAN - SECOND & THIRD FLOOR - AREA A

SHEET
A503

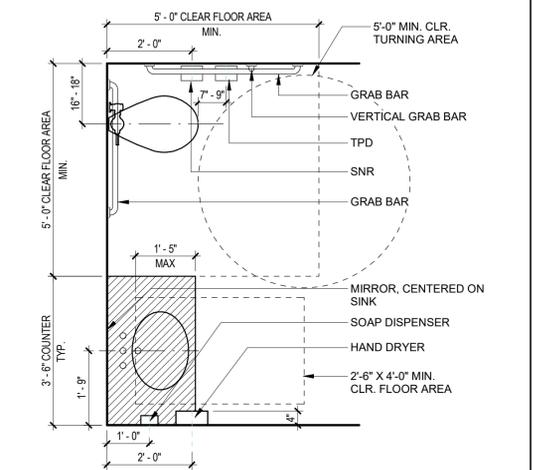
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- DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.
- UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR FRAMES SHALL BE: WOOD PARTITIONS: 4" FROM THE ADJACENT WALL STUDS TO THE HINGE SIDE OF THE ROUGH OPENING.
- MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS AND MAY NOT MATCH THE ACTUAL DIMENSIONS OF THE PRODUCT. COORDINATE ALL MASONRY OPENINGS AND ROUGH OPENINGS WITH THE ACTUAL WINDOW UNIT, DOORFRAME, CURTAIN WALL/STOREFRONT, OR LOUVER SIZES AND REQUIREMENTS.
- DIMENSIONAL CONTROL:**
 - EXTERIOR DIMENSIONS ARE TO:**
 - FACE OF MASONRY
 - FACE OF STUD
 - FACE OF CONCRETE
 - CENTERLINE OF WINDOW OPENING
 - ROUGH OPENING
 - MASONRY OPENING
 - INTERIOR DIMENSIONS ARE TO:**
 - FACE OF MASONRY
 - FACE OF STUD
 - FACE OF EXISTING FINISH MATERIAL
 - EXISTING DIMENSIONS SHALL BE VERIFIED. REPORT ANY DISCREPANCIES TO THE ARCHITECT.**
- TYPICAL DETAIL NOTES:**
 - THE FOLLOWING NOTES ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. THESE NOTES AND ASSOCIATED DETAILS MAY NOT BE DIRECTLY REFERENCED ON THE DRAWINGS.
 - ALL COLUMNS ADJACENT TO OR INTEGRAL WITH EXTERIOR WALL CONSTRUCTION SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
 - ALL COLUMNS LOCATED ADJACENT TO OR INTEGRAL WITH CMU OR GWB PARTITIONS SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
 - ALL FREESTANDING COLUMNS SHALL BE ENCLOSED WITH GWB ON METAL LGMF.
 - ALL GWB PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND CONTINUOUS SEALANT.
 - ALL NEW OPENINGS FOR WINDOWS AND DOORS IN EXISTING MASONRY WALLS SHALL BE TOOTHED IN AT THE JAMBS.
 - ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS, PLUMBING VENTS, SANITARY PLUMBING OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
 - ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.

TOILET ACCESSORY SCHEDULE

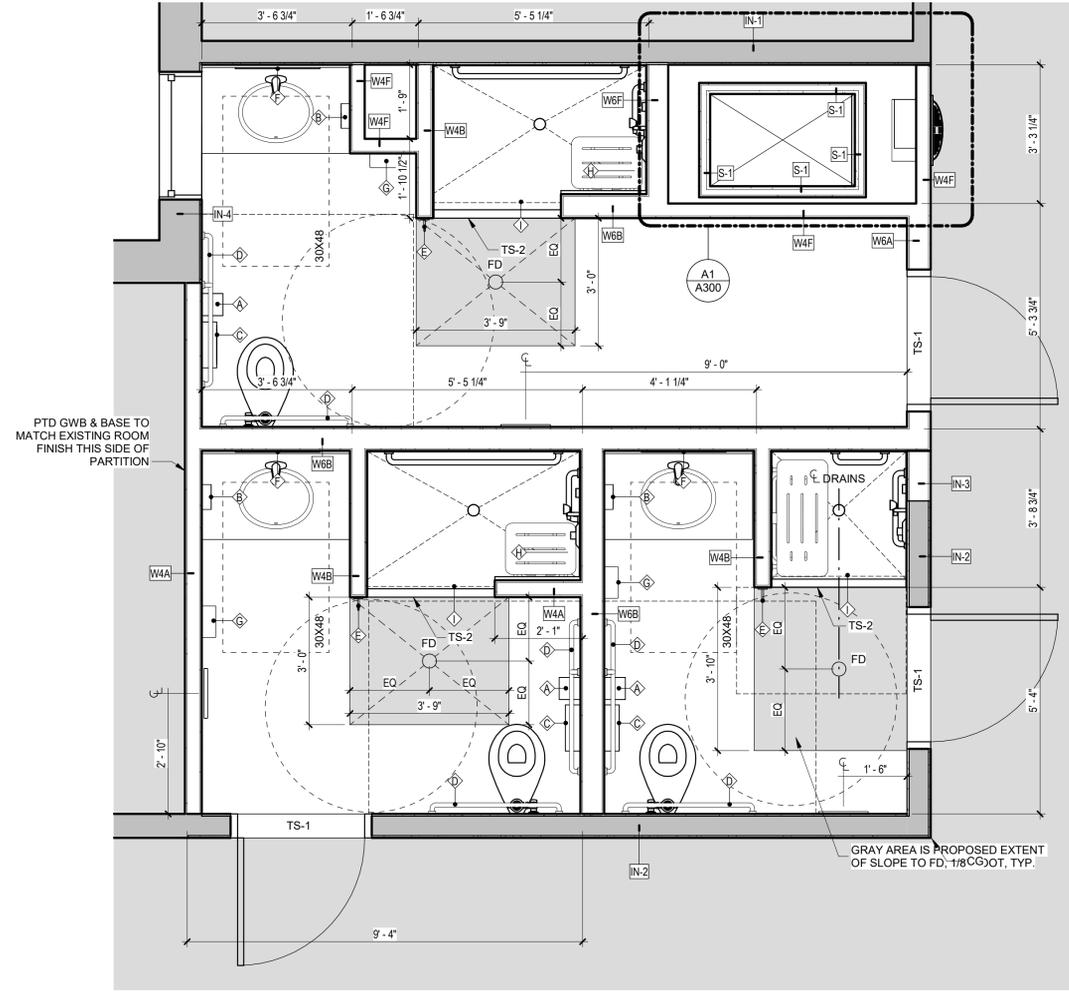
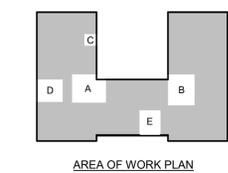
MARK	ACCESSORY	NOTES
A	TOILET PAPER DISPENSER	BY OWNER, CONTRACTOR INSTALLED
B	SOAP DISPENSER	BY OWNER, CONTRACTOR INSTALLED
C	SANITARY NAPKIN DISPOSAL	BY OWNER, CONTRACTOR INSTALLED
D	GRAB BARS - 18", 36", 42"	
E	ROBE HOOK @ 60" & 54" A.F.F.	
F-1	MIRROR	
F-2	MIRROR	
G	HAND DRYER	
H	SHOWER SEAT - 20", 33"	20" @ 3'X3' SHWR, 33" @ 3'X3' SHWR
I	SHOWER ROD - 36", 60"	
J	VANITY SHELF	
K	24" TOWEL BAR	

NOTE: REFER TO SPECIFICATIONS FOR MORE INFORMATION ON ACCESSORIES



1 TYP. BARRIER FREE SINGLE TOILET PLAN
1/2" = 1'-0"

MALLETT HALL



1 TYP. ENLARGED PLAN - SECOND & THIRD FLOOR - AREA B
1/2" = 1'-0"



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MALLETT HALL RENOVATION
180 HIGH ST. FARMINGTON, ME 04086
UNIVERSITY OF MAINE AT FARMINGTON

A BID SET 09/08/2023

REV #1 REVISION DATE



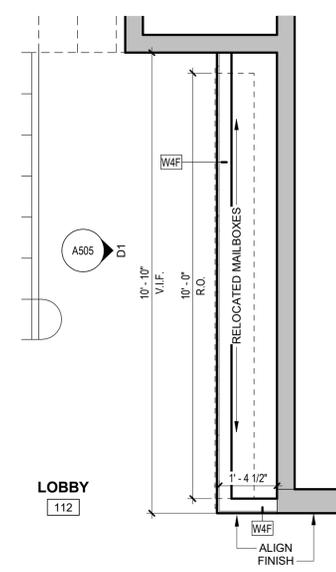
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082184

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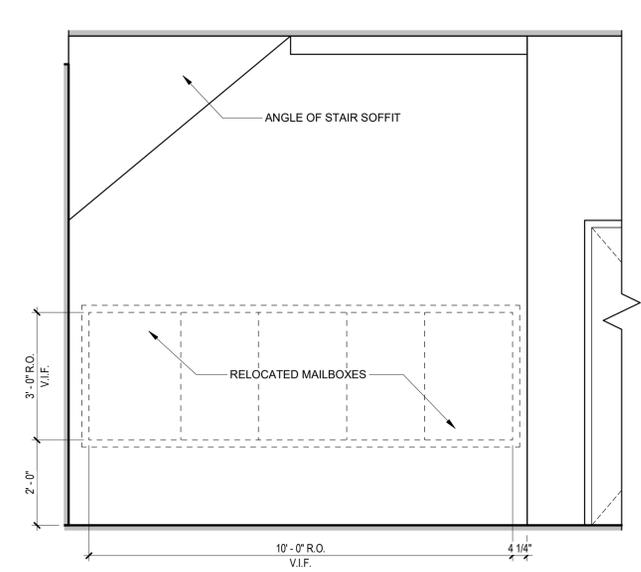
ISSUE
09/15/2023

TITLE
ENLARGED PLAN -
SECOND & THIRD
FLOOR - AREA B

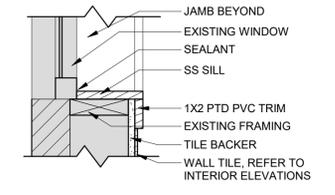
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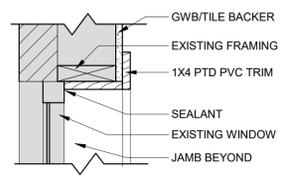
D2 ENLARGED PLAN - MAILBOX AREA
1/2" = 1'-0"



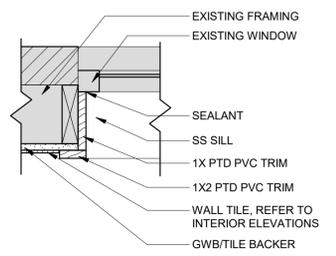
D1 INTERIOR ELEVATION - MAILBOX AREA
1/2" = 1'-0"



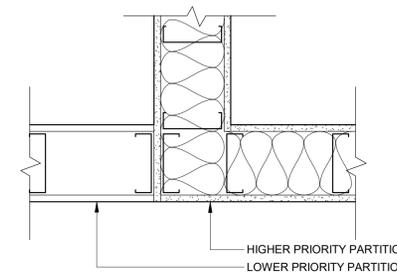
C5 WINDOW SILL DETAIL
1 1/2" = 1'-0"



C4 WINDOW HEAD DETAIL
1 1/2" = 1'-0"

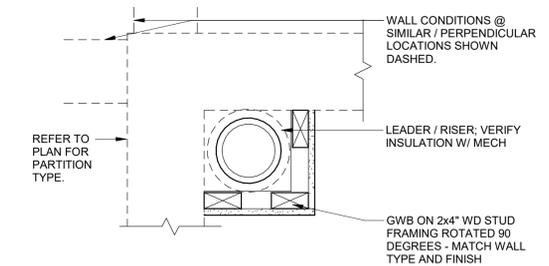


C3 WINDOW JAMB DETAIL
1 1/2" = 1'-0"



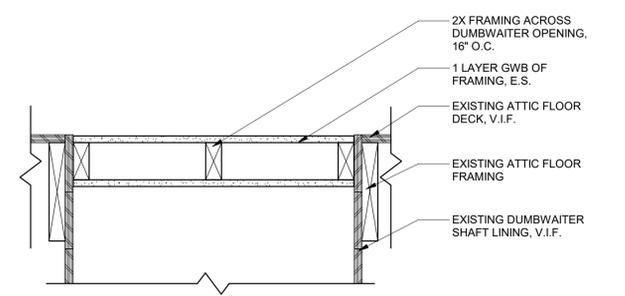
PARTITION PRIORITY LEGEND	
FIRE & SMOKE	HIGHEST ↑ 2-HOUR FIRE BARRIER 1-HOUR FIRE BARRIER NON-RATED PARTITION OR FURRING ↓ LOWEST
	HIGHEST ↑ STC >= 60 60 > STC > 50 ↓ LOWEST NO STC
SOUND CLASS	HIGHEST ↑ GWB ON WD STUD SOFFIT FRAMING ↓ LOWEST SEE PLAN FOR WIDTH

ALL COMPONENTS OF THE HIGHER PRIORITY PARTITION ASSEMBLY MUST CONTINUE UNINTERRUPTED PAST THE LOWER PRIORITY PARTITION ASSEMBLY.

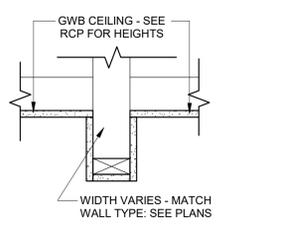


NOTES: MAINTAIN RATING OF WALL ASSEMBLY AS INDICATED ON PLANS. RUN PIPE COVER TO DECK TO MATCH WALL TYPE. KEEP CAVITY AROUND PIPE CLEAR OF MORTAR / GROUT DROPPINGS. COORDINATE DIMENSIONS WITH SIZE OF PIPE AND INSULATION.

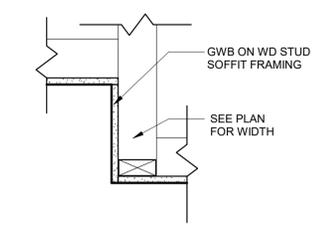
B1 LEADER / RISER ENCLOSURE
1 1/2" = 1'-0"



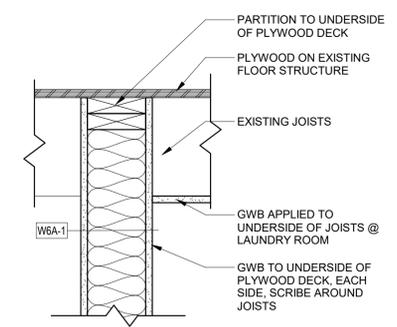
B5 DUMBWAITER SHAFT 1HR RATED CAP
1 1/2" = 1'-0"



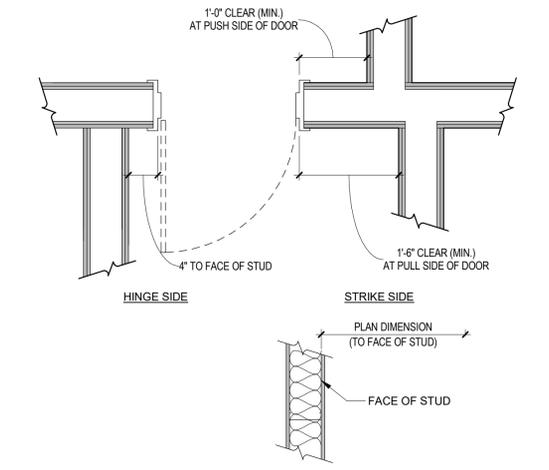
B4 CEILING DETAIL - GWB
1 1/2" = 1'-0"



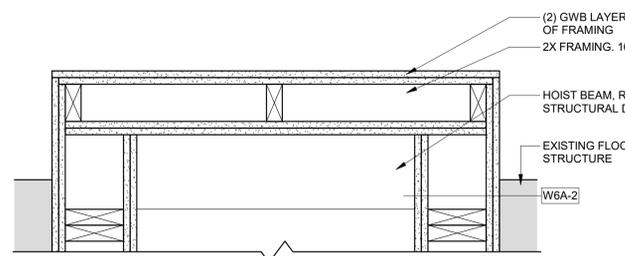
B3 CEILING DETAIL - GWB SOFFIT
1 1/2" = 1'-0"



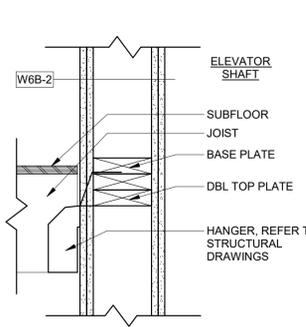
A2 T.O. WALL DETAIL PERPENDICULAR TO STRUCTURE
1 1/2" = 1'-0"



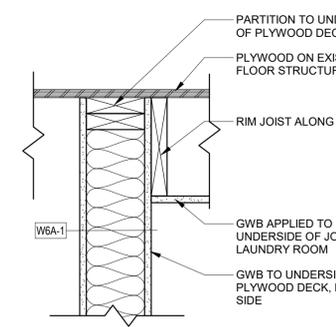
A1 DIMENSIONAL STANDARDS
1 1/2" = 1'-0"



A5 ELEVATOR SHAFT 2HR RATED CAP
1 1/2" = 1'-0"



A4 TYP. SECTION AT ELEVATOR FLOOR OPENING
1 1/2" = 1'-0"



A3 T.O. WALL DETAIL PARALLEL TO STRUCTURE
1 1/2" = 1'-0"

D
C
B
A

5
4
3
2
1

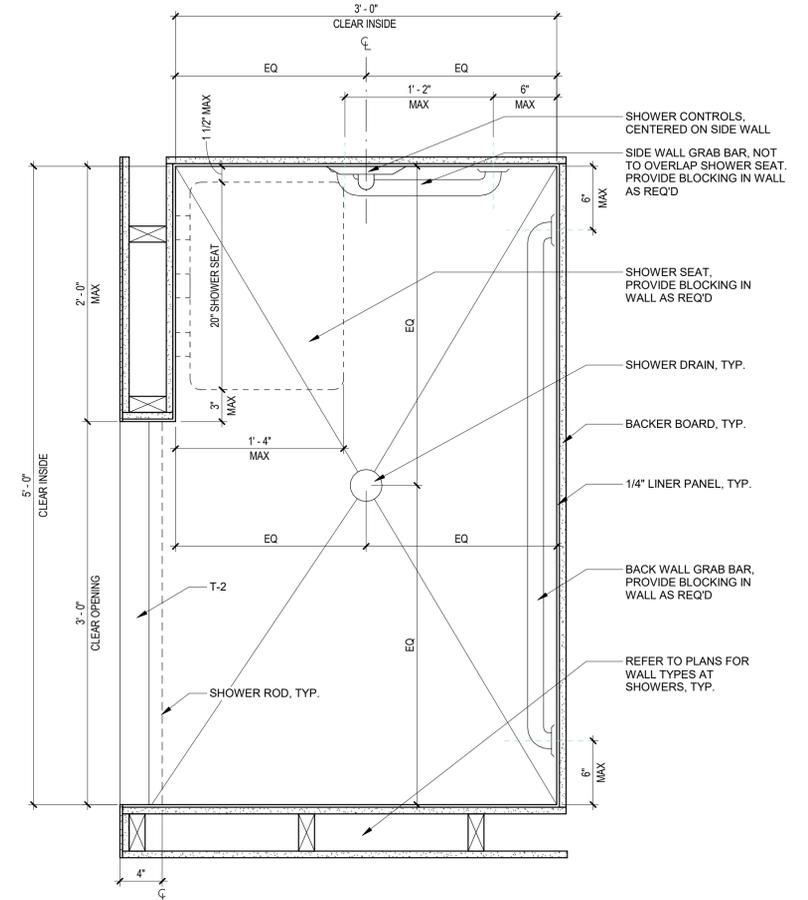
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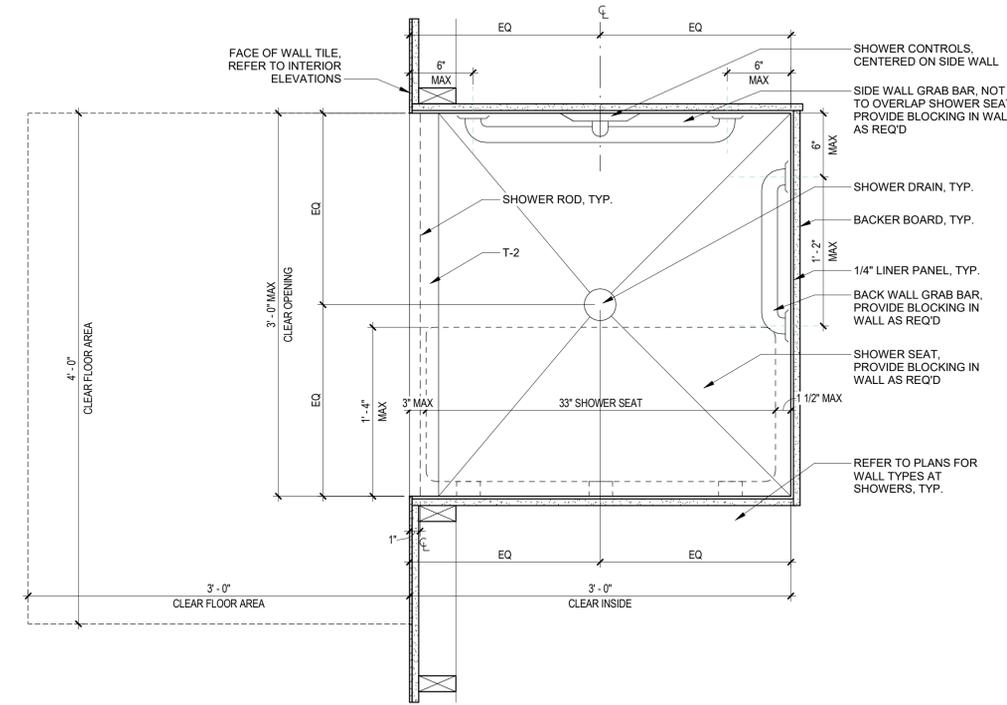
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2

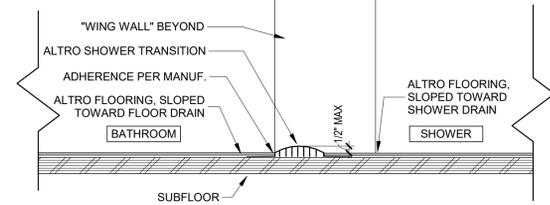
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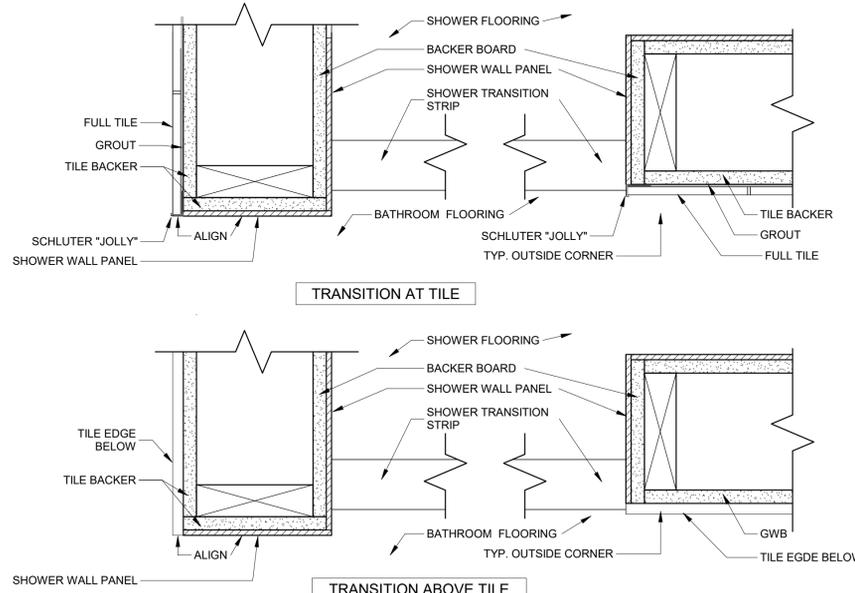
B1 ENLARGED PLAN - TYP. ALTERNATE ROLL-IN SHOWER
1 1/2" = 1'-0"



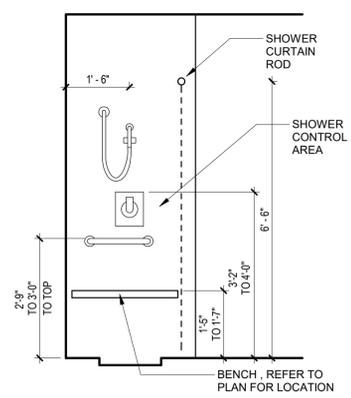
A1 ENLARGED PLAN - TYP. TRANSFER SHOWER
1 1/2" = 1'-0"



B2 SHOWER THRESHOLD - T-2
3" = 1'-0"



A2 TYP. SHOWER DETAILS
3" = 1'-0"



A3 TYPICAL BARRIER FREE SHOWER ASSEMBLY
1/2" = 1'-0"

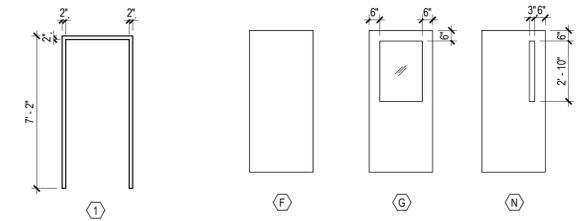
DOOR GENERAL NOTES

1. PACK ALL INTERIOR HOLLOW METAL FRAMES IN STUD WALLS WITH MINERAL-FIBER INSULATION.
2. REFER TO SPECIFICATIONS FOR LOCATIONS OF TEMPERED, LAMINATED, WIRED AND INSULATION GLASS.
3. PROVIDE DOOR STOPS TO PROTECT WALLS AT ALL LOCATIONS WHERE A DOOR SWING WILL STRIKE THE WALL.

DOOR & FRAME SCHEDULE																	
LEVEL	LOCATION			OPERATION	DOOR			FRAME			DETAILS			RATING	HDWR	COMMENTS	
	MARK	ROOM NO.	ROOM NAME		OPENING WIDTH	OPENING HEIGHT	TYPE	PANEL MATL	THICK	TYPE	MATL	HEAD	JAMB				SILL
BASEMENT	013.1	013	JAN	Single - Hinged	2'-2"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600		45 Min.	2	
BASEMENT	019.1	019	STOR	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600		45 Min.	2	
BASEMENT	S1.1	S1	STAIR 1	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600		45 Min.	5	
FIRST FLOOR	100.1	100	AD KITCHEN	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600		45 Min.	4	
FIRST FLOOR	101.1	101	NEW DORM	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600		45 Min.	4	
FIRST FLOOR	105.1	105	AD APT	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600			3	
FIRST FLOOR	106.1	106	KITCHEN	Single - Hinged	3'-0"	7'-0"	N	WD	1 3/4"	1	HM	1/A600	1/A600	2/A600	45 Min.	3	
FIRST FLOOR	130.1	130	TLT	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600	2/A600	20 min.	1	
FIRST FLOOR	131.1	131	JAN	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600	2/A600	20 min.	2	
FIRST FLOOR	132.1	132	TLT	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600	2/A600	20 min.	1	
FIRST FLOOR	133.1	133	TLT	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600	2/A600	20 min.	1	
FIRST FLOOR	140.1	140	LAUNDRY	Single - Hinged	3'-0"	7'-0"	N	WD	1 3/4"	1	HM	1/A600	1/A600	2/A600	45 Min.	3	
FIRST FLOOR	141.1	141	TLT	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600	2/A600	20 min.	1	
FIRST FLOOR	142.1	142	TLT	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600	2/A600	20 min.	1	
FIRST FLOOR	143.1	143	TLT	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600	2/A600	20 min.	1	
FIRST FLOOR	E145.1	145	AD TLT	Single - Hinged	2'-8"	7'-0"	F	EXST	1 3/4"	EXST	-	-	-	-	-	NOTE 1	
FIRST FLOOR	S1.4	S1	STAIR 1	Single - Hinged	3'-0"	7'-0"	N	WD	1 3/4"	1	HM	1/A600	1/A600		45 Min.	5	
FIRST FLOOR	S2.1	S2	STAIR 2	Single - Hinged	3'-0"	7'-0"	N	WD	1 3/4"	1	HM	1/A600	1/A600		45 Min.	5	
FIRST FLOOR	S2.4	S2	STAIR 2	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600		45 Min.	5	
SECOND FLOOR	210.1	210	STOR	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600		20 min.	2	
SECOND FLOOR	211.1	211	STUDY LOUNGE	Single - Hinged	3'-0"	7'-0"	G	WD	1 3/4"	1	HM	1/A600	1/A600		20 min.	3	
SECOND FLOOR	226.1	226	TLT	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600	2/A600	20 min.	1	
SECOND FLOOR	231.1	231	TLT	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600	2/A600	20 min.	1	
SECOND FLOOR	232.1	232	TLT	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600	2/A600	20 min.	1	
SECOND FLOOR	234.1	234	CORR	Single - Hinged	3'-0"	7'-0"	N	WD	1 3/4"	1	HM	1/A600	1/A600		20 min.	5	
SECOND FLOOR	240.1	240	TLT	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600	2/A600	20 min.	1	
SECOND FLOOR	241.1	241	TLT	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600	2/A600	20 min.	1	
SECOND FLOOR	242.1	242	TLT	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600	2/A600	20 min.	1	
SECOND FLOOR	E230.1	230	CORR	Single - Hinged	3'-0"	7'-0"	N	EXST	1 3/4"	EXST	-	-	-	20 min.	5	NOTE 2	
SECOND FLOOR	S1.5	S1	STAIR 1	Single - Hinged	3'-0"	7'-0"	N	WD	1 3/4"	1	HM	1/A600	1/A600		45 Min.	5	
SECOND FLOOR	S2.5	S2	STAIR 2	Single - Hinged	3'-0"	7'-0"	N	WD	1 3/4"	1	HM	1/A600	1/A600		45 Min.	5	
THIRD FLOOR	310.1	310	STOR	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600		20 min.	2	
THIRD FLOOR	311.1	311	STUDY LOUNGE	Single - Hinged	3'-0"	7'-0"	G	WD	1 3/4"	1	HM	1/A600	1/A600		20 min.	3	
THIRD FLOOR	326.1	326	TLT	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600	2/A600	20 min.	1	
THIRD FLOOR	331.1	331	TLT	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600	2/A600	20 min.	1	
THIRD FLOOR	332.1	332	TLT	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600	2/A600	20 min.	1	
THIRD FLOOR	334.1	334	CORR	Single - Hinged	3'-0"	7'-0"	N	WD	1 3/4"	1	HM	1/A600	1/A600		20 min.	5	
THIRD FLOOR	340.1	340	TLT	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600	2/A600	20 min.	1	
THIRD FLOOR	341.1	341	TLT	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600	2/A600	20 min.	1	
THIRD FLOOR	342.1	342	TLT	Single - Hinged	3'-0"	7'-0"	F	WD	1 3/4"	1	HM	1/A600	1/A600	2/A600	20 min.	1	
THIRD FLOOR	E330.1	330	CORR	Single - Hinged	3'-0"	7'-0"	N	EXST	1 3/4"	EXST	-	-	-	20 min.	5	NOTE 2	
THIRD FLOOR	S1.6	S1	STAIR 1	Single - Hinged	3'-0"	7'-0"	N	WD	1 3/4"	1	HM	1/A600	1/A600		45 Min.	5	
THIRD FLOOR	S2.6	S2	STAIR 2	Single - Hinged	3'-0"	7'-0"	N	WD	1 3/4"	1	HM	1/A600	1/A600		45 Min.	5	
ATTIC	S1.7	S1	STAIR 1	Single - Hinged	3'-0"	6'-8"	F	WD	1 3/4"	1	HM	1/A600	1/A600		45 Min.	5	
ATTIC	S2.7	S2	STAIR 2	Single - Hinged	3'-0"	6'-8"	F	WD	1 3/4"	1	HM	1/A600	1/A600		45 Min.	5	

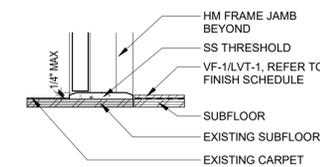
DOOR SCHEDULE NOTES:

1. EXISTING DOOR PANEL AND HARDWARE TO BE SALVAGED AND REINSTALLED TO OPPOSITE SIDE OF FRAME TO REVERSE SWING.
2. EXISTING DOOR TO HAVE NEW HARDWARE INSTALLED. NEW HINGES ARE NOT REQUIRED AT THIS LOCATION.

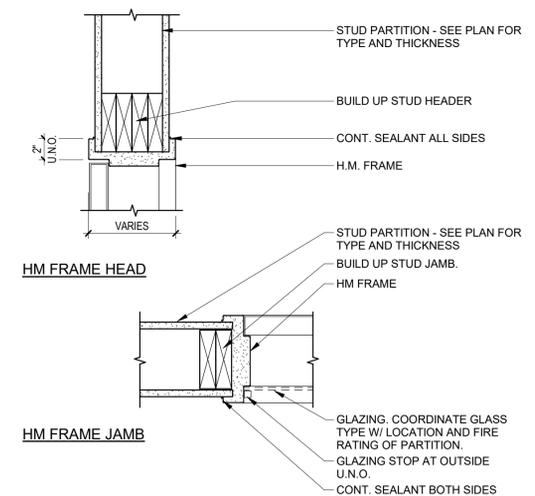


DOOR FRAME LEGEND

DOOR PANEL LEGEND

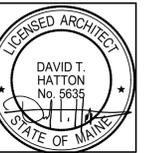


2 THRESHOLD DETAIL - TS-1 1/2" = 1'-0"



1 HM FRAME DETAILS @ GWB 1/2" = 1'-0"

A	BID SET	09/08/2023
REV #	REVISION	DATE



JOB NO. 082184

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ISSUE 09/15/2023

TITLE DOOR SCHEDULE

SHEET

A600

A	BID SET	09/08/2023
REV #	REVISION	DATE



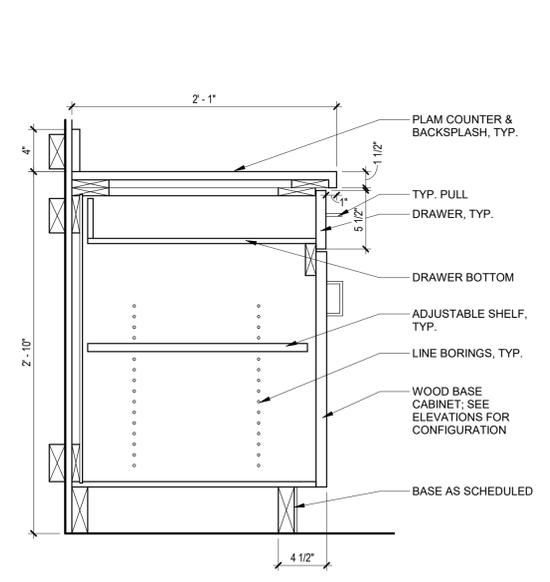
JOB NO.
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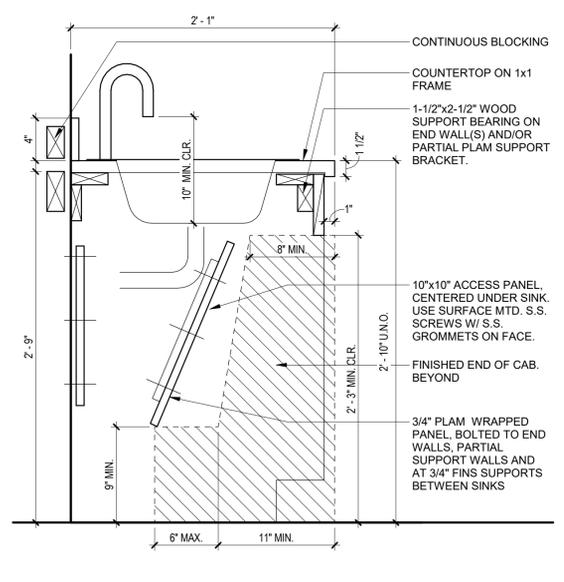
ISSUE
09/15/2023

TITLE
CASEWORK
DETAILS

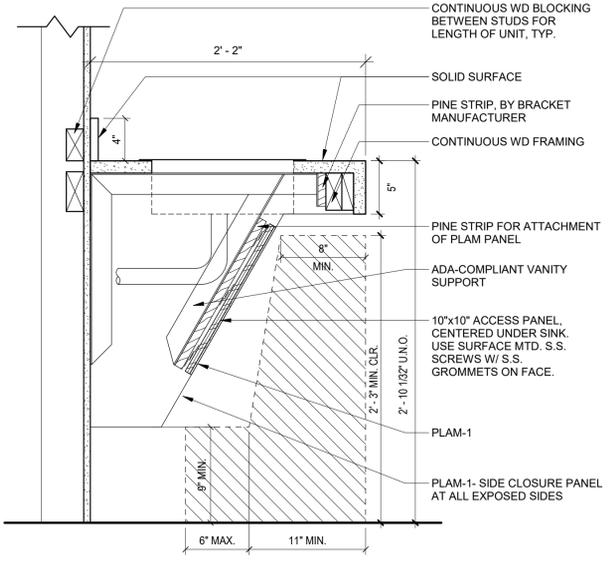
SHEET
A700



A1 BASE CABINET WITH DRAWERS
1 1/2" = 1'-0"

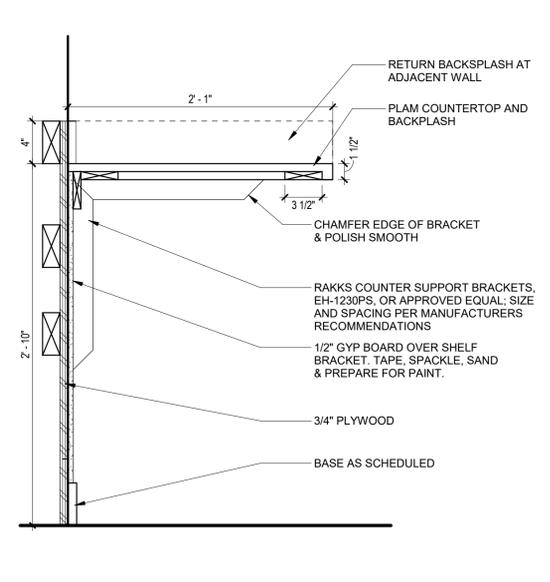


A2 ACCESSIBLE SINK DETAIL
1 1/2" = 1'-0"



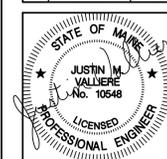
A4 ACCESSIBLE LAVATORY SECTION
1 1/2" = 1'-0"

NOTE: HATCHED AREA INDICATES ACCESSIBLE LAVATORY TOE CLEARANCE AND KNEE CLEARANCE



A5 COUNTER ON BRACKET
1 1/2" = 1'-0"

REV #	REVISION	DATE



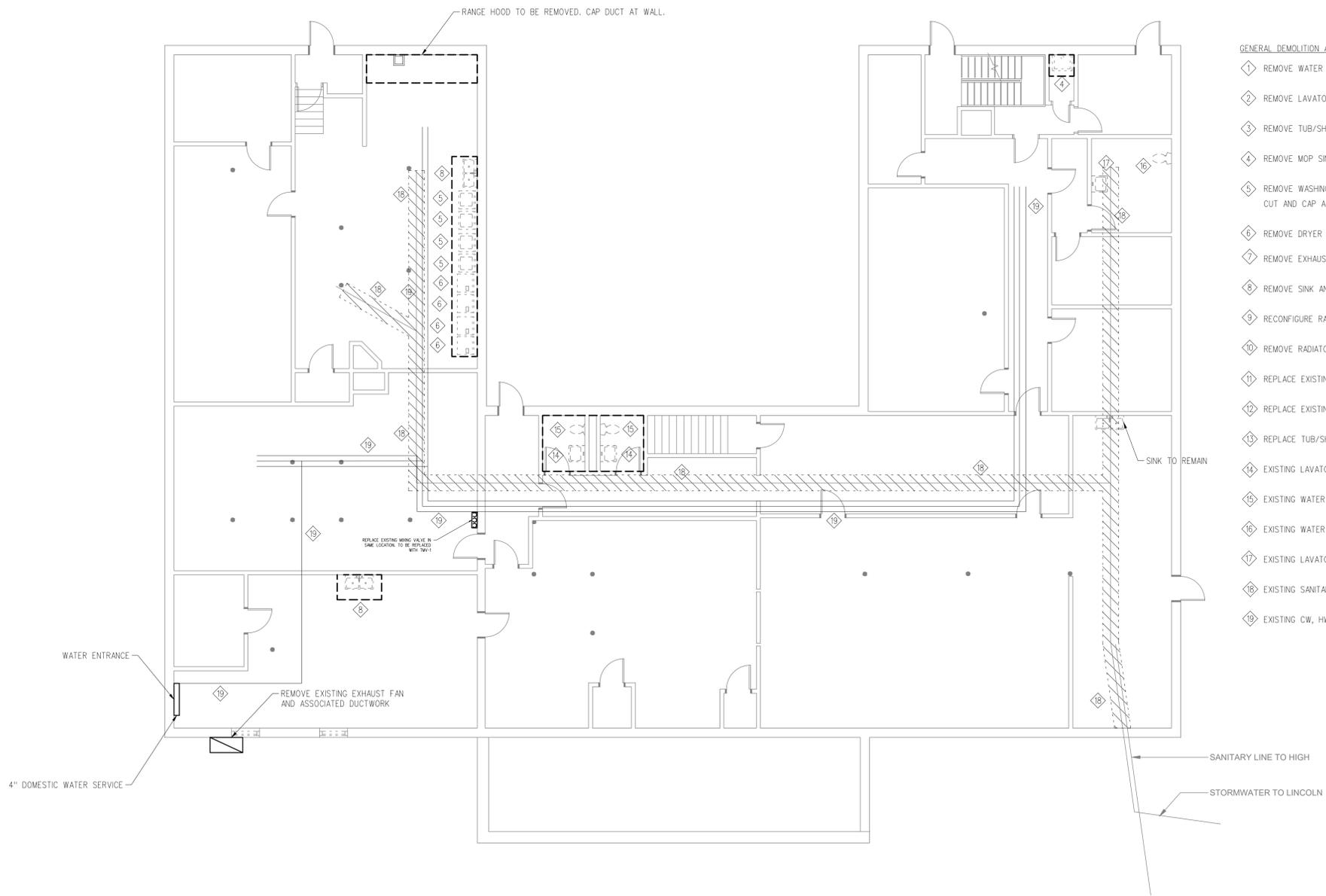
JOB NO.
082184

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ISSUE
09/15/2023

TITLE
BASEMENT
MECHANICAL/
PLUMBING
DEMOLITION PLAN

SHEET
MD100



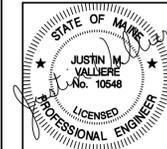
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MD100 **BASEMENT DEMOLITION PLAN**
SCALE: 1/8" = 1'-0"

MALLET HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH



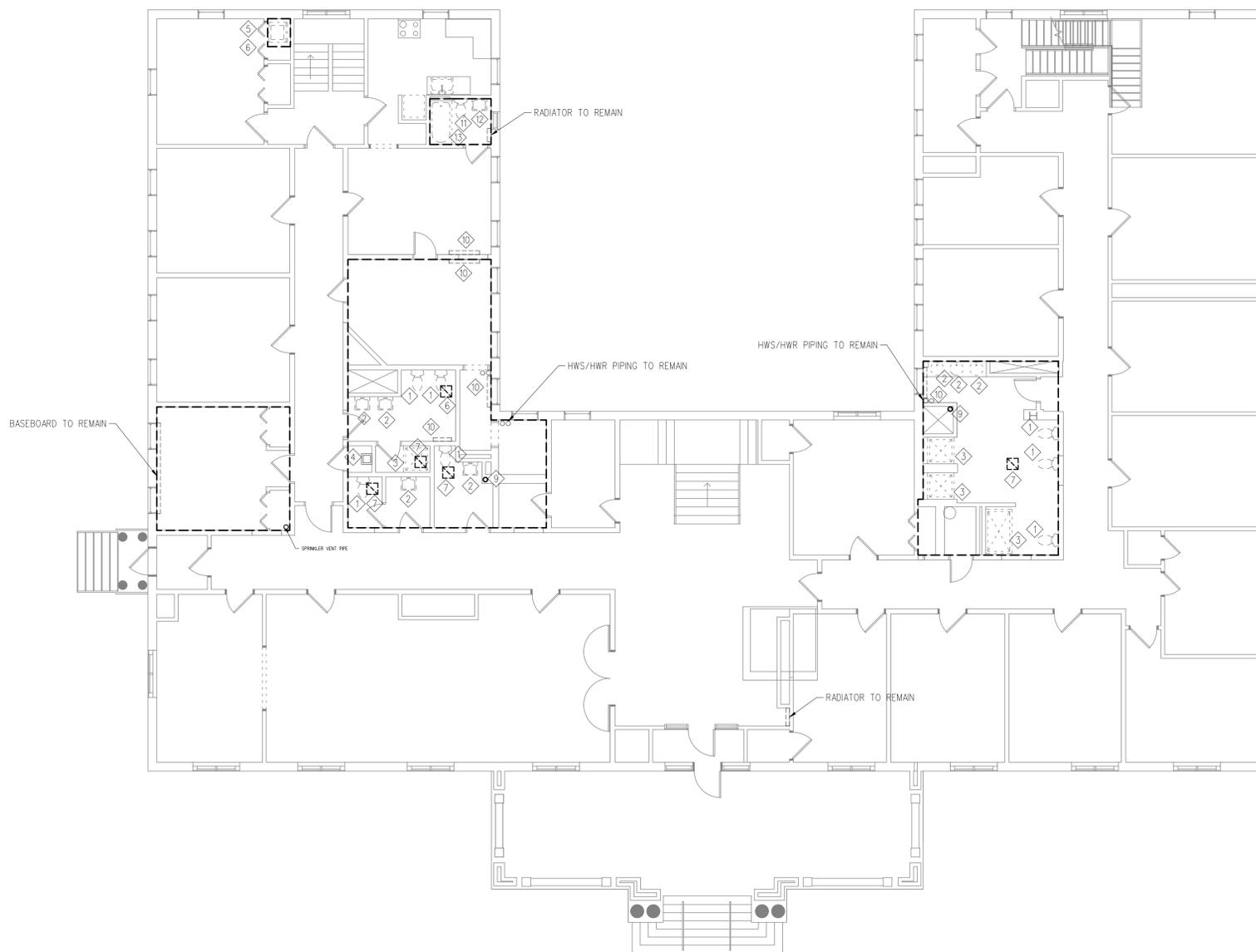
JOB NO.
082184

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ISSUE
09/15/2023

TITLE
FIRST FLOOR
MECHANICAL/
PLUMBING
DEMOLITION PLAN

SHEET
MD101



GENERAL DEMOLITION AND REMOVAL NOTES:

- 1 REMOVE WATER CLOSET AND ASSOCIATED PIPING.
- 2 REMOVE LAVATORY AND ASSOCIATED PIPING.
- 3 REMOVE TUB/SHOWER AND ASSOCIATED PIPING.
- 4 REMOVE MOP SINK AND ASSOCIATED PIPING.
- 5 REMOVE WASHING MACHINE CONNECTION BOXES AND ASSOCIATED PIPING. CUT AND CAP AT MAINS.
- 6 REMOVE DRYER DUCTWORK. CAP AT WALL.
- 7 REMOVE EXHAUST FAN AND ASSOCIATED DUCTWORK.
- 8 REMOVE SINK AND ASSOCIATED PIPING.
- 9 RECONFIGURE RAINWATER PIPING
- 10 REMOVE RADIATOR AND ASSOCIATED PIPING, CUT AND CAP AT MAINS.
- 11 REPLACE EXISTING WATER CLOSET.
- 12 REPLACE EXISTING LAVATORY.
- 13 REPLACE TUB/SHOWER.
- 14 EXISTING LAVATORY AND ASSOCIATED PIPING TO REMAIN.
- 15 EXISTING WATER CLOSET AND ASSOCIATED PIPING TO REMAIN.
- 16 EXISTING WATER CLOSET TO REMAIN, REPLACE ASSOCIATED PIPING WITH NEW.
- 17 EXISTING LAVATORY TO REMAIN, REPLACE ASSOCIATED PIPING WITH NEW.
- 18 EXISTING SANITARY AND RAINWATER PIPING TO BE REMOVED AND REPLACED.
- 19 EXISTING CW, HW, AND RHW PIPING TO REMOVED AND REPLACED

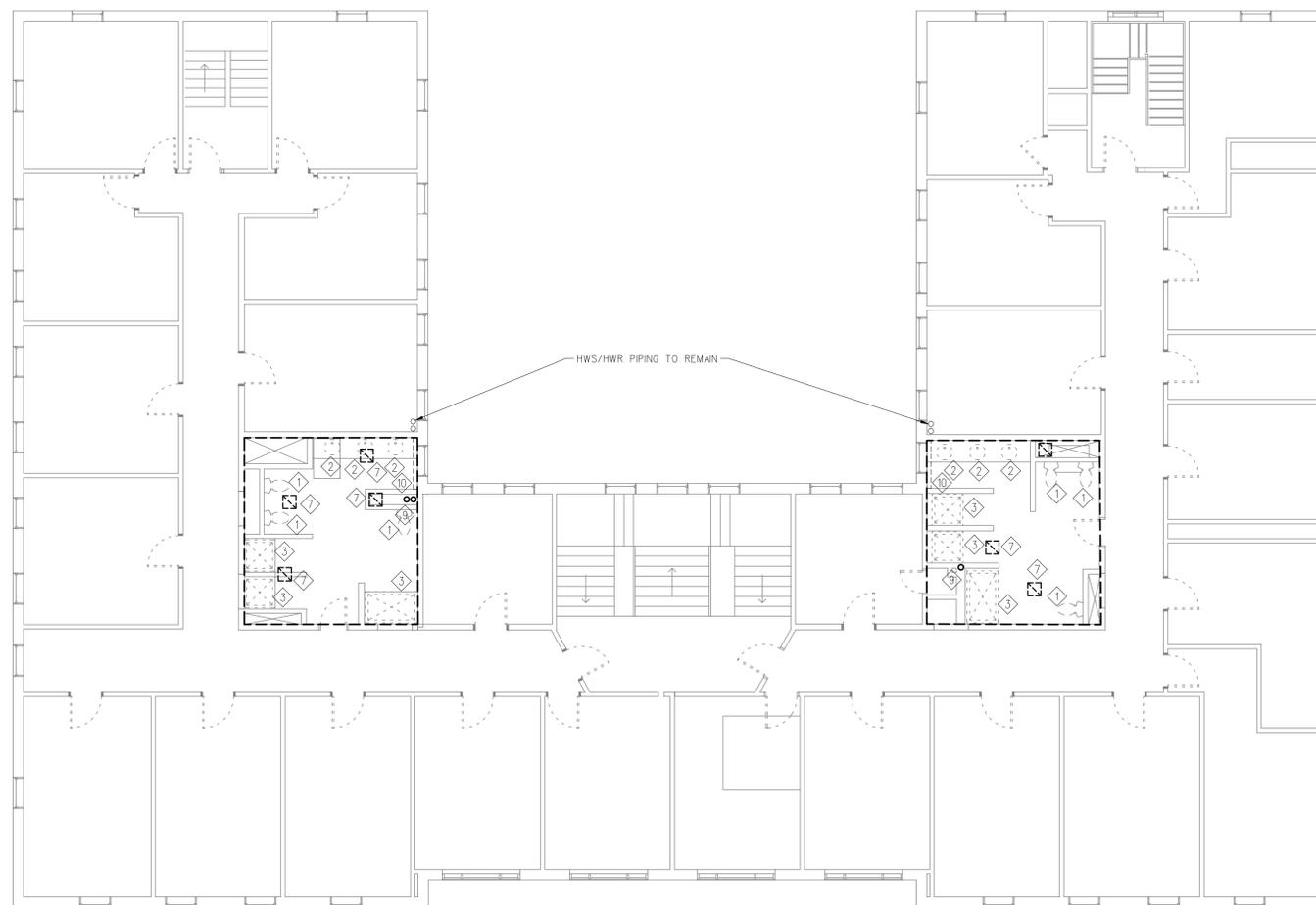
1 FIRST FLOOR DEMOLITION PLAN
MD101 SCALE: 1/8" = 1'-0"

MALLET HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH



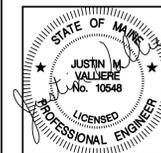
GENERAL DEMOLITION AND REMOVAL NOTES:

- 1 REMOVE WATER CLOSET AND ASSOCIATED PIPING.
- 2 REMOVE LAVATORY AND ASSOCIATED PIPING.
- 3 REMOVE TUB/SHOWER AND ASSOCIATED PIPING.
- 4 REMOVE MOP SINK AND ASSOCIATED PIPING.
- 5 REMOVE WASHING MACHINE CONNECTION BOXES AND ASSOCIATED PIPING. CUT AND CAP AT MAINS.
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- 7 REMOVE EXHAUST FAN AND ASSOCIATED DUCTWORK.
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- 15 EXISTING WATER CLOSET AND ASSOCIATED PIPING TO REMAIN.
- 16 EXISTING WATER CLOSET TO REMAIN, REPLACE ASSOCIATED PIPING WITH NEW.
- 17 EXISTING LAVATORY TO REMAIN, REPLACE ASSOCIATED PIPING WITH NEW.
- 18 EXISTING SANITARY AND RAINWATER PIPING TO BE REMOVED AND REPLACED.
- 19 EXISTING CW, HW, AND RHW PIPING TO REMOVED AND REPLACED

1 SECOND FLOOR DEMOLITION PLAN

MD102 SCALE: 1/8" = 1'-0"

REV # REVISION DATE



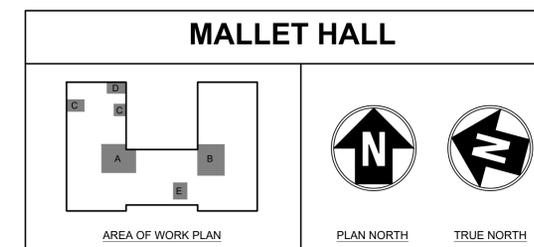
JOB NO.
082184

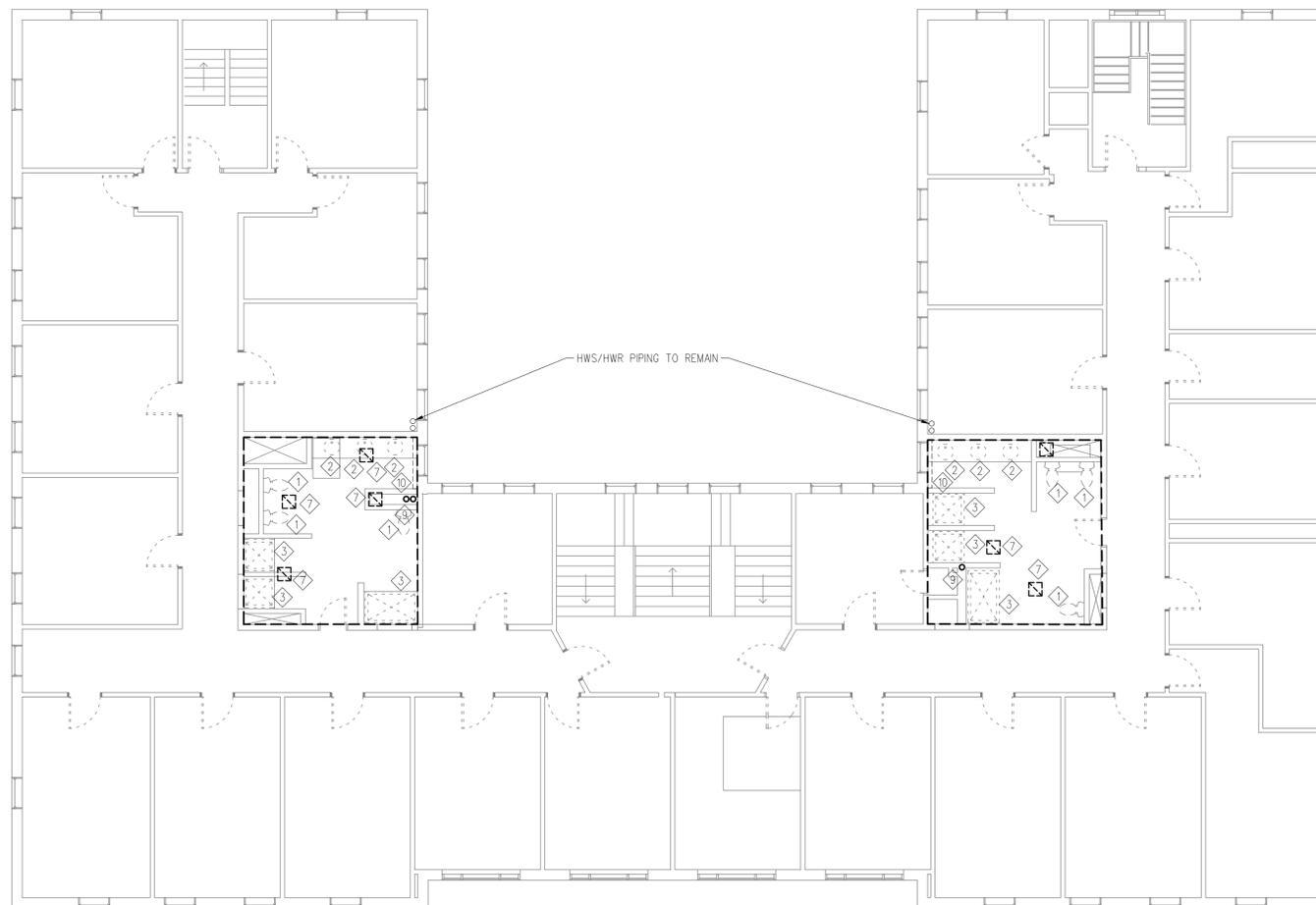
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TITLE
SECOND FLOOR
MECHANICAL/
PLUMBING
DEMOLITION PLAN

SHEET
MD102





GENERAL DEMOLITION AND REMOVAL NOTES:

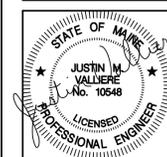
- 1 REMOVE WATER CLOSET AND ASSOCIATED PIPING.
- 2 REMOVE LAVATORY AND ASSOCIATED PIPING.
- 3 REMOVE TUB/SHOWER AND ASSOCIATED PIPING.
- 4 REMOVE MOP SINK AND ASSOCIATED PIPING.
- 5 REMOVE WASHING MACHINE CONNECTION BOXES AND ASSOCIATED PIPING. CUT AND CAP AT MAINS.
- 6 REMOVE DRYER DUCTWORK. CAP AT WALL.
- 7 REMOVE EXHAUST FAN AND ASSOCIATED DUCTWORK.
- 8 REMOVE SINK AND ASSOCIATED PIPING.
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- 11 REPLACE EXISTING WATER CLOSET.
- 12 REPLACE EXISTING LAVATORY.
- 13 REPLACE TUB/SHOWER.
- 14 EXISTING LAVATORY AND ASSOCIATED PIPING TO REMAIN.
- 15 EXISTING WATER CLOSET AND ASSOCIATED PIPING TO REMAIN.
- 16 EXISTING WATER CLOSET TO REMAIN, REPLACE ASSOCIATED PIPING WITH NEW.
- 17 EXISTING LAVATORY TO REMAIN, REPLACE ASSOCIATED PIPING WITH NEW.
- 18 EXISTING SANITARY AND RAINWATER PIPING TO BE REMOVED AND REPLACED.
- 19 EXISTING CW, HW, AND RHW PIPING TO REMOVED AND REPLACED

1 THIRD FLOOR DEMOLITION PLAN
MD103 SCALE: 1/8" = 1'-0"

MALLET HALL

AREA OF WORK PLAN PLAN NORTH TRUE NORTH

REV	REVISION	DATE



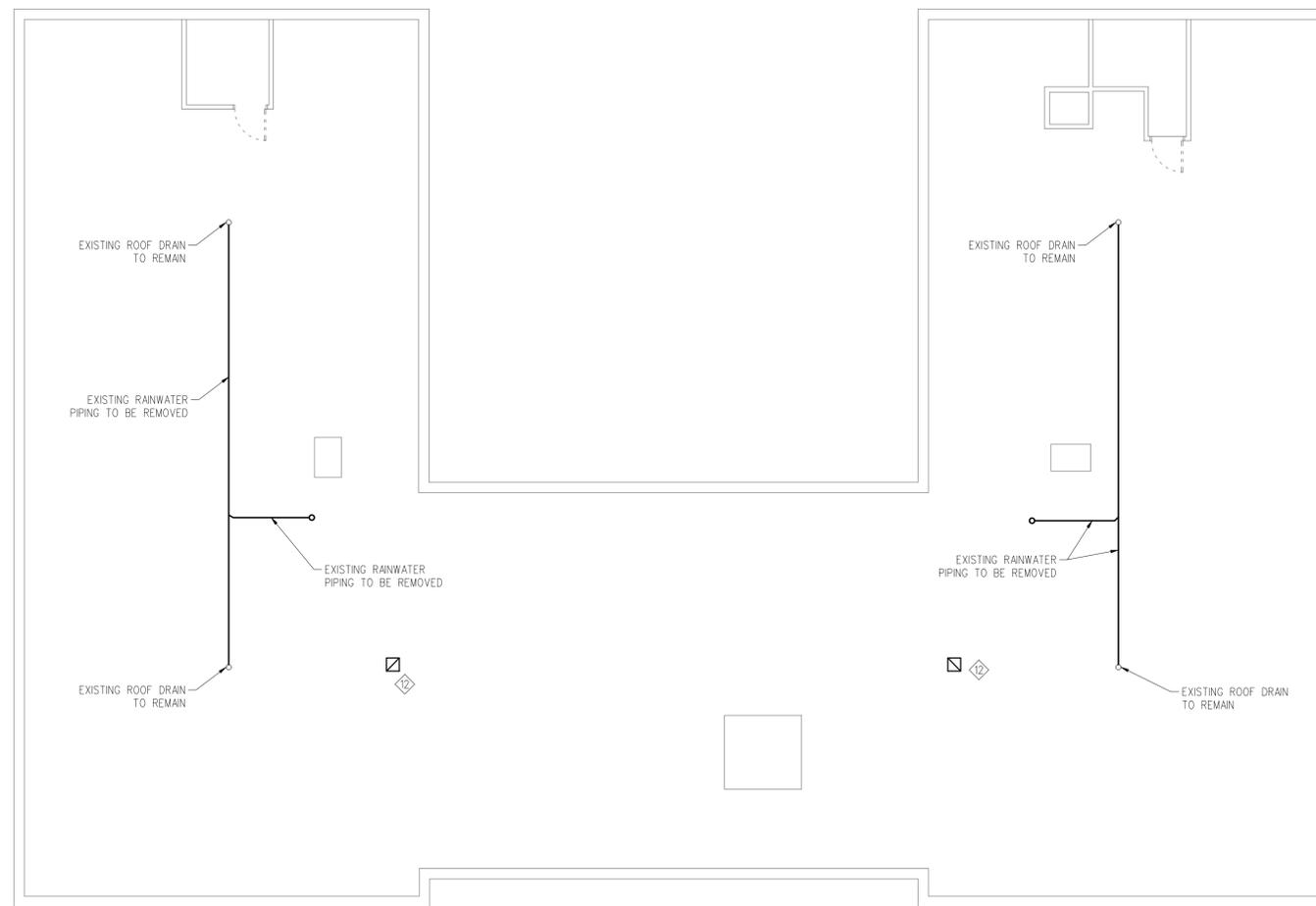
JOB NO.
082184

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09/15/2023

TITLE
THIRD FLOOR
MECHANICAL/
PLUMBING
DEMOLITION PLAN

SHEET
MD103



- GENERAL DEMOLITION AND REMOVAL NOTES:**
- ① REMOVE WATER CLOSET AND ASSOCIATED PIPING.
 - ② REMOVE LAVATORY AND ASSOCIATED PIPING.
 - ③ REMOVE TUB/SHOWER AND ASSOCIATED PIPING.
 - ④ REMOVE MOP SINK AND ASSOCIATED PIPING.
 - ⑤ REMOVE WASHING MACHINE CONNECTION BOXES AND ASSOCIATED PIPING. CUT AND CAP AT MAINS.
 - ⑥ REMOVE DRYER DUCTWORK. CAP AT WALL.
 - ⑦ REMOVE EXHAUST FAN AND ASSOCIATED DUCTWORK.
 - ⑧ REMOVE SINK AND ASSOCIATED PIPING.
 - ⑨ RECONFIGURE RAINWATER PIPING
 - ⑩ REMOVE RADIATOR AND ASSOCIATED PIPING. CUT AND CAP AT MAINS.
 - ⑪ REPLACE EXISTING WATER CLOSET.
 - ⑫ REPLACE EXISTING LAVATORY.
 - ⑬ REPLACE TUB/SHOWER.
 - ⑭ EXISTING LAVATORY AND ASSOCIATED PIPING TO REMAIN.
 - ⑮ EXISTING WATER CLOSET AND ASSOCIATED PIPING TO REMAIN.
 - ⑯ EXISTING WATER CLOSET TO REMAIN, REPLACE ASSOCIATED PIPING WITH NEW.
 - ⑰ EXISTING LAVATORY TO REMAIN, REPLACE ASSOCIATED PIPING WITH NEW.
 - ⑱ EXISTING SANITARY AND RAINWATER PIPING TO BE REMOVED AND REPLACED.
 - ⑲ EXISTING CW, HW, AND RHW PIPING TO BE REMOVED AND REPLACED

GENERAL MECHANICAL NOTES:
1. EXISTING ROOF DRAINS SHALL REMAIN DURING CONSTRUCTION AND BE TEMPORARILY PIPED TO THE EXTERIOR UNTIL CONNECTION TO NEW PIPING.

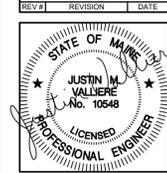
1 ATTIC DEMOLITION PLAN
MD104 SCALE: 1/8" = 1'-0"

MALLET HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH



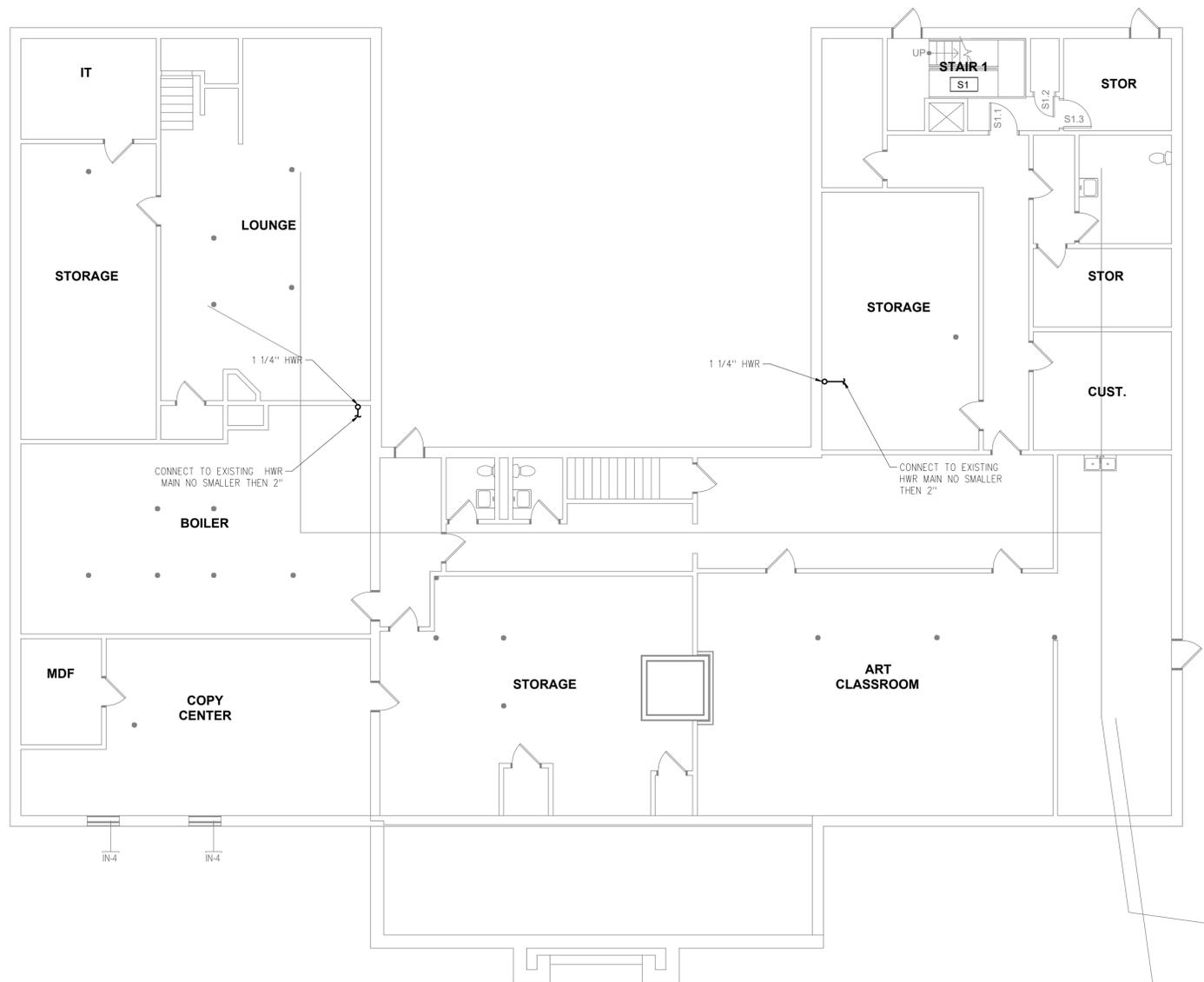
JOB NO.
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09/15/2023

TITLE
ATTIC
MECHANICAL/
PLUMBING
DEMOLITION PLAN

SHEET
MD104



1
M100 **BASEMENT MECHANICAL PLAN**
SCALE: 1/8" = 1'-0"

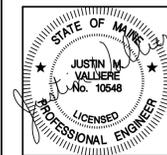
MALLET HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH

REV.	REVISION	DATE



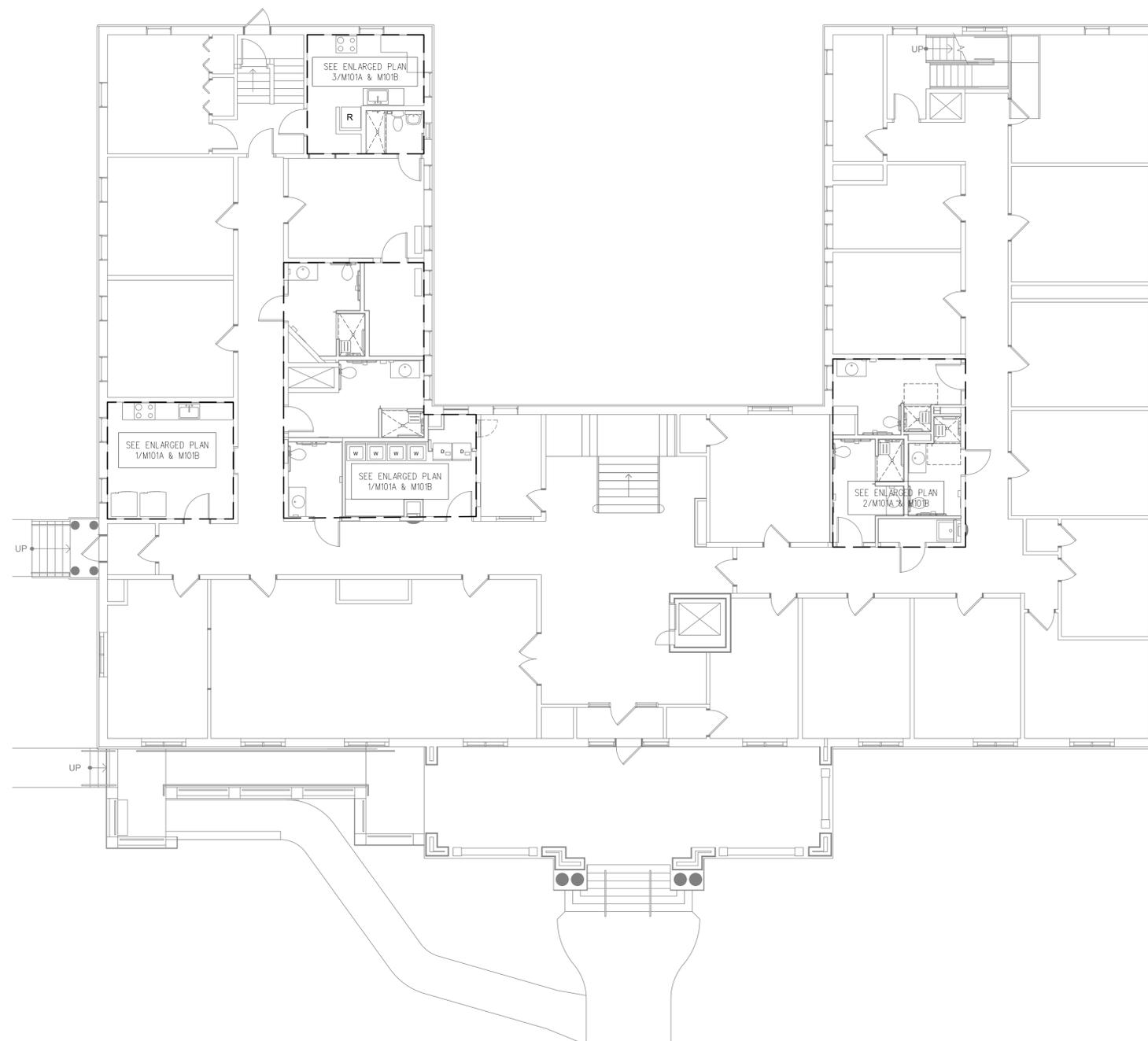
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09/15/2023

TITLE
BASEMENT
MECHANICAL
PLAN

SHEET
M100



1
M101 SCALE: 1/8" = 1'-0"
FIRST FLOOR OVERALL MECHANICAL PLAN

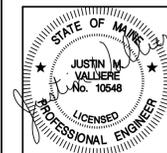
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AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH

REV #	REVISION	DATE



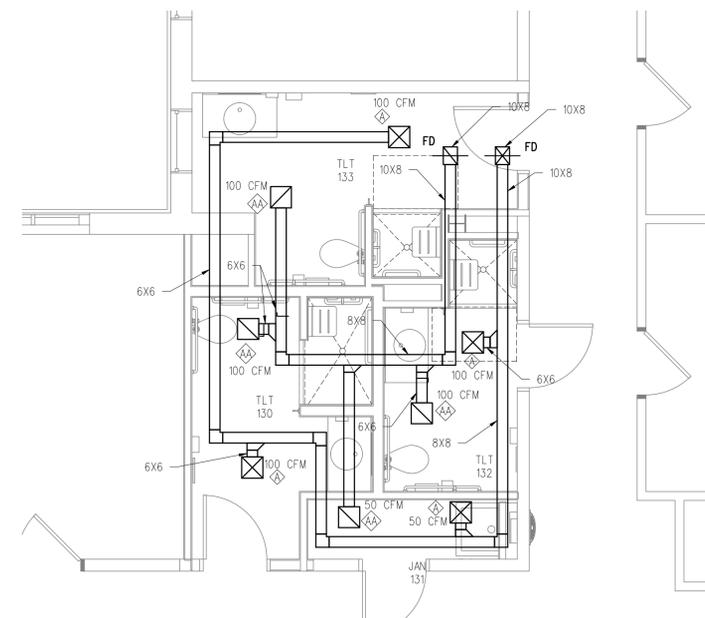
JOB NO.
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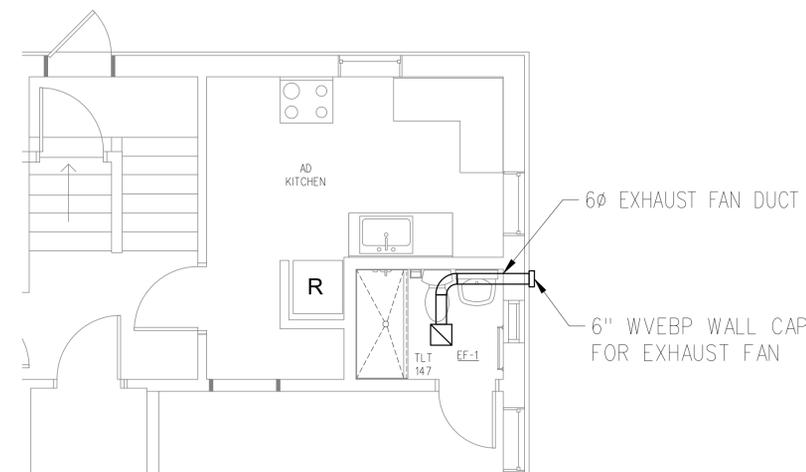
ISSUE
09/15/2023

TITLE
FIRST FLOOR
MECHANICAL
PLAN

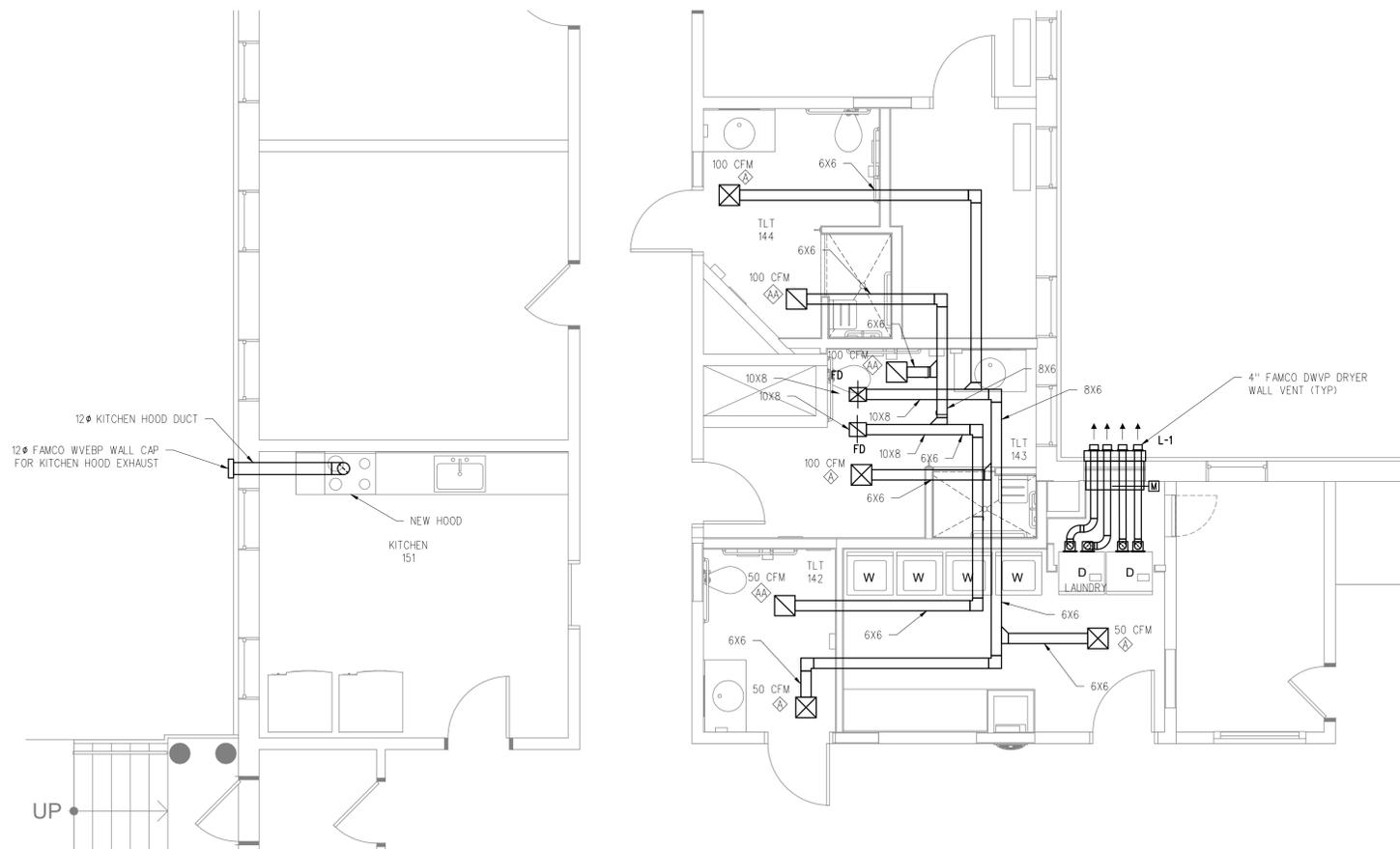
SHEET
M101



2 FIRST FLOOR DUCTWORK PLAN - AREA B
SCALE: 1/4" = 1'-0"



3 FIRST FLOOR DUCTWORK PLAN - AREA D
SCALE: 1/4" = 1'-0"

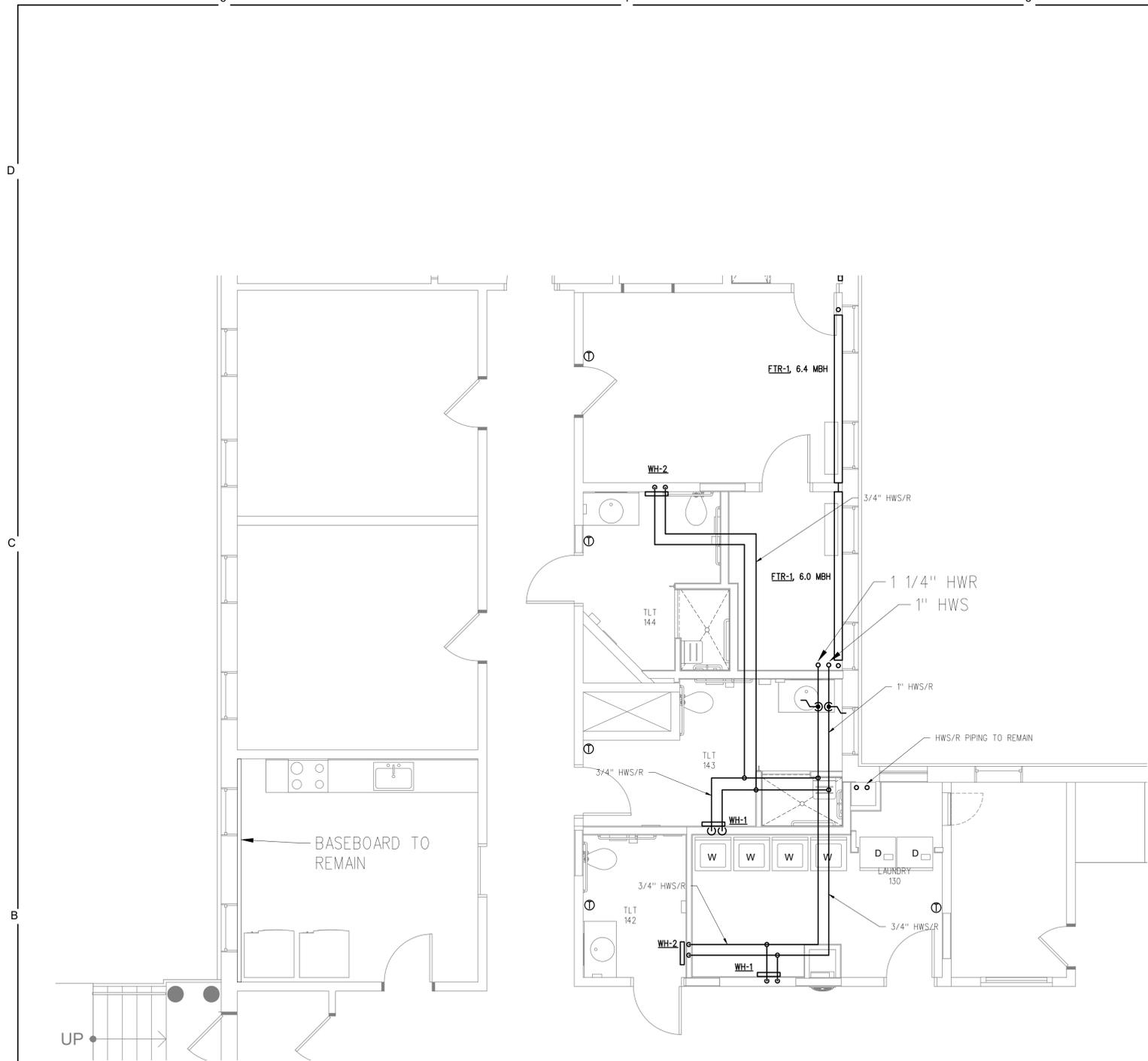


1 FIRST FLOOR DUCTWORK PLAN - AREA A & D
SCALE: 1/4" = 1'-0"

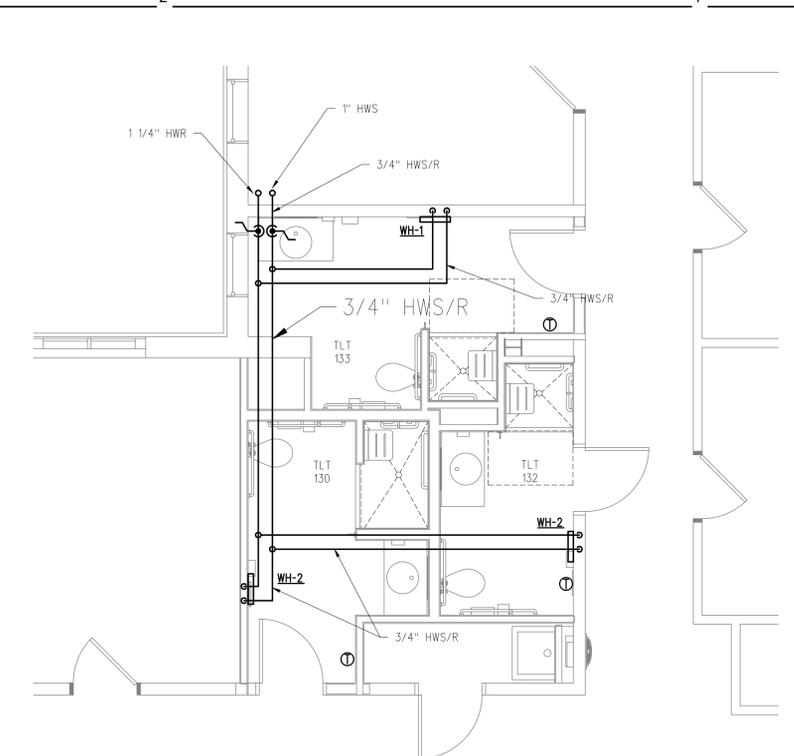
MALLET HALL

AREA OF WORK PLAN

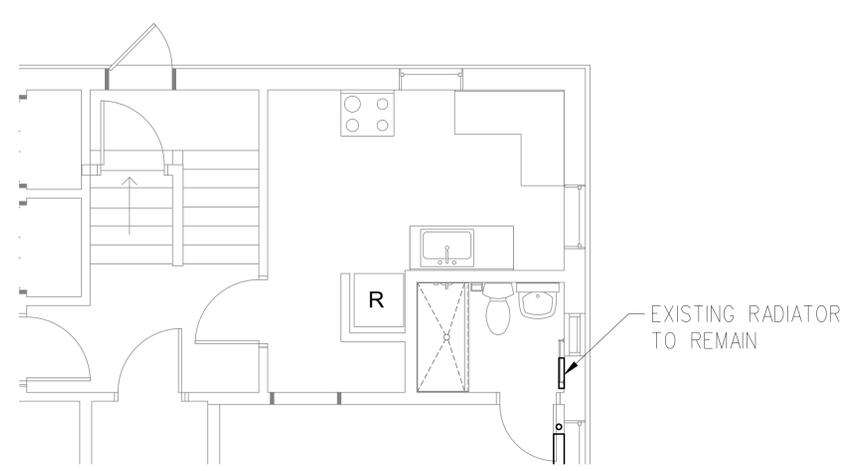
PLAN NORTH TRUE NORTH



1 FIRST FLOOR MECHANICAL PLAN - AREA A & D
 M101B SCALE: 1/4" = 1'-0"



2 FIRST FLOOR MECHANICAL PLAN - AREA B
 M101B SCALE: 1/4" = 1'-0"



3 FIRST FLOOR MECHANICAL PLAN - AREA D
 M101B SCALE: 1/4" = 1'-0"

MALLET HALL

AREA OF WORK PLAN

PLAN NORTH TRUE NORTH

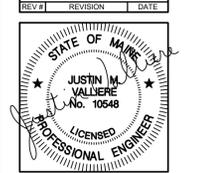
BENNETT ENGINEERING
 MECHANICAL - ELECTRICAL
 (207) 866-9475

CHA ARCHITECTURE
 49 DARTMOUTH STREET
 PORTLAND, MAINE 04101
 207-775-1059
 www.chaarchitecture.com

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Mallet Hall Renovation
 HIGH STREET - FARMINGTON - ME - 04938

REV	REVISION	DATE



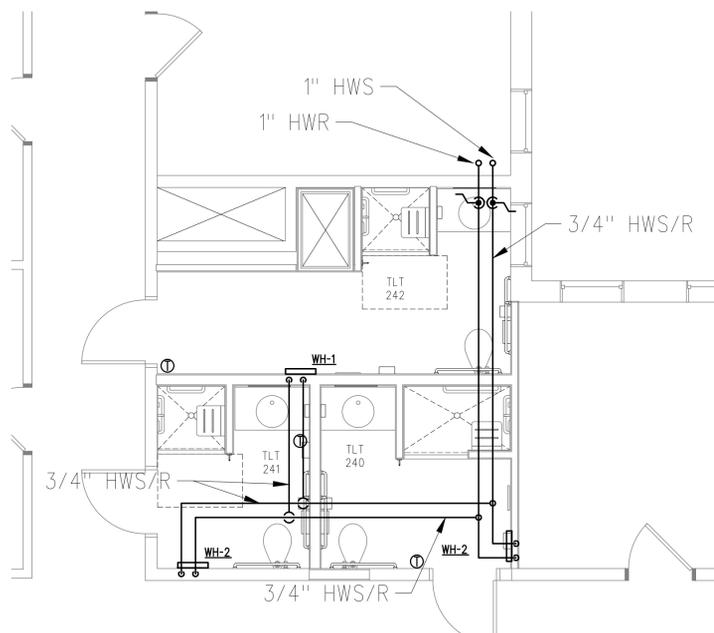
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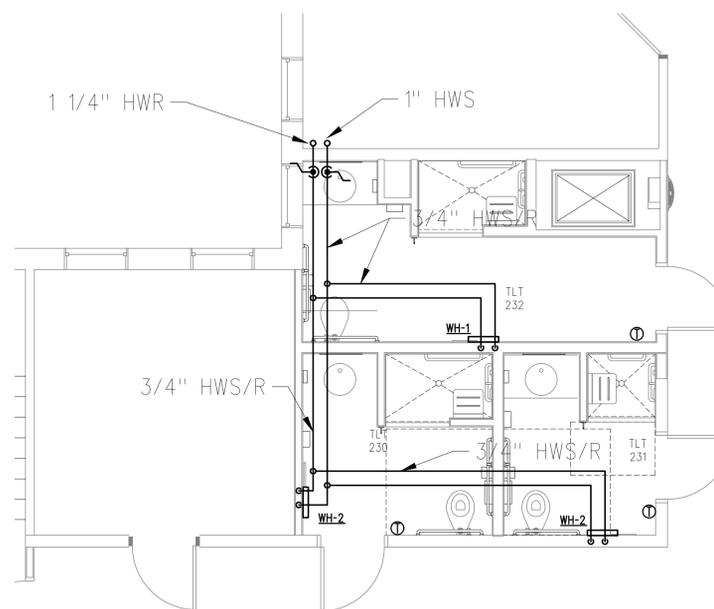
ISSUE
09/15/2023

TITLE
FIRST FLOOR MECHANICAL PLAN

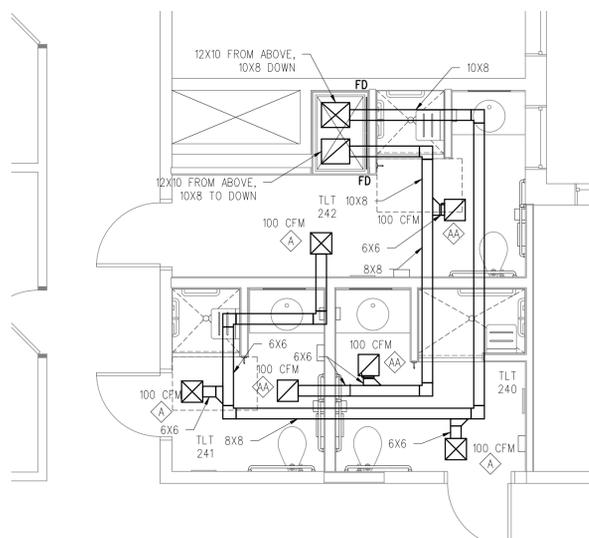
SHEET
M101B



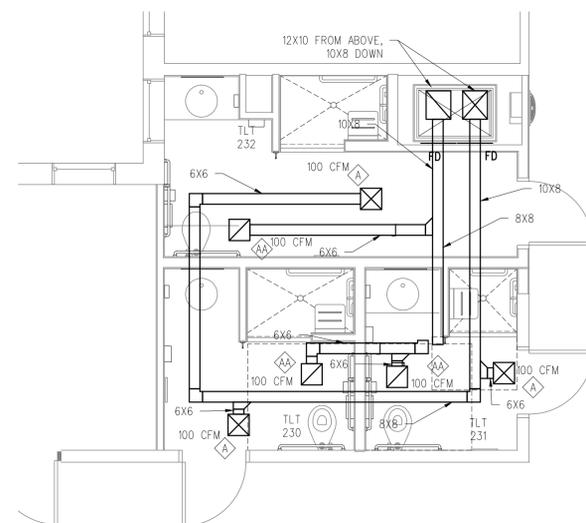
1 SECOND FLOOR MECHANICAL PLAN - AREA A
M102 SCALE: 1/4" = 1'-0"



2 SECOND FLOOR MECHANICAL PLAN - AREA B
M102 SCALE: 1/4" = 1'-0"



3 SECOND FLOOR DUCTWORK PLAN - AREA A
M102 SCALE: 1/4" = 1'-0"



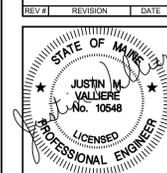
4 SECOND FLOOR DUCTWORK PLAN - AREA B
M102 SCALE: 1/4" = 1'-0"

MALLET HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH



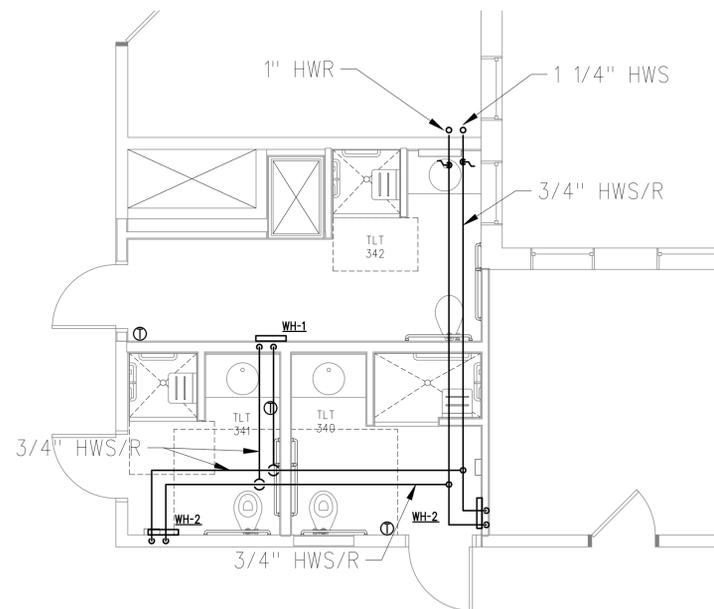
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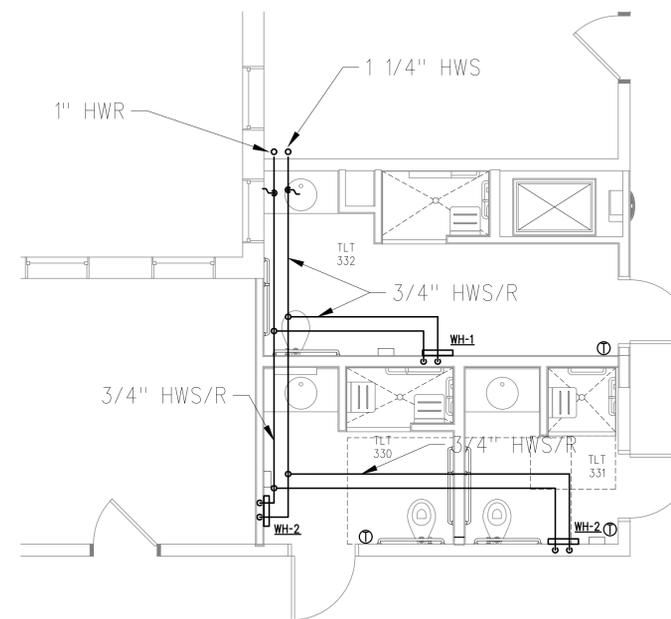
ISSUE
09/15/2023

TITLE
SECOND FLOOR
MECHANICAL PLAN

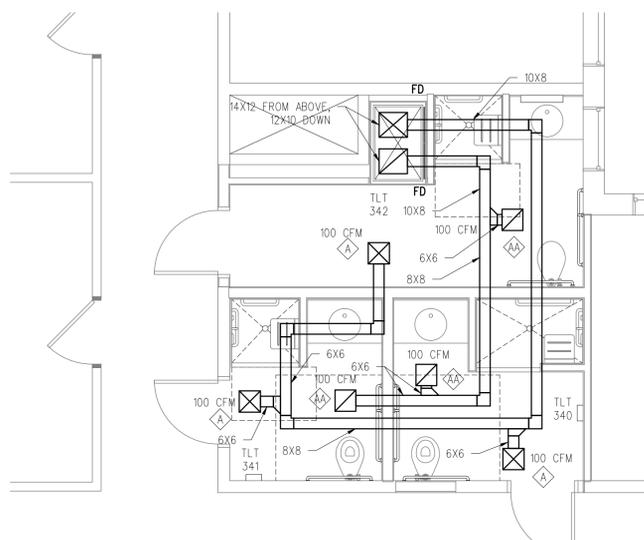
SHEET
M102



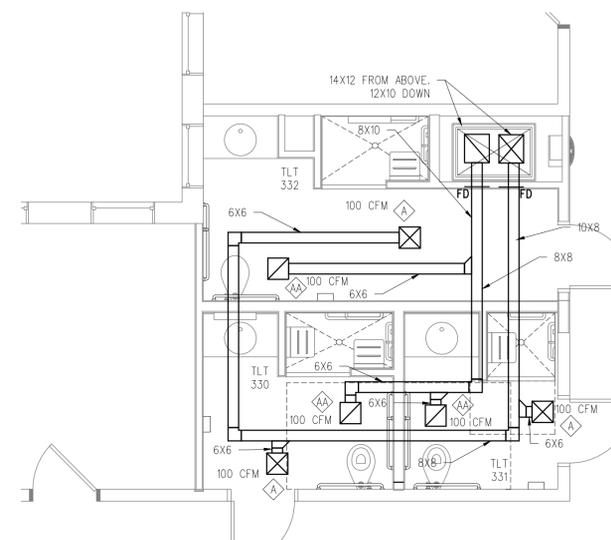
1 THIRD FLOOR MECHANICAL PLAN - AREA A
SCALE: 1/4" = 1'-0"



2 THIRD FLOOR MECHANICAL PLAN - AREA B
SCALE: 1/4" = 1'-0"



3 THIRD FLOOR DUCTWORK PLAN - AREA A
SCALE: 1/4" = 1'-0"



4 THIRD FLOOR DUCTWORK PLAN - AREA B
SCALE: 1/4" = 1'-0"

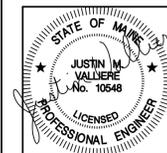
MALLET HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH

REV	REVISION	DATE



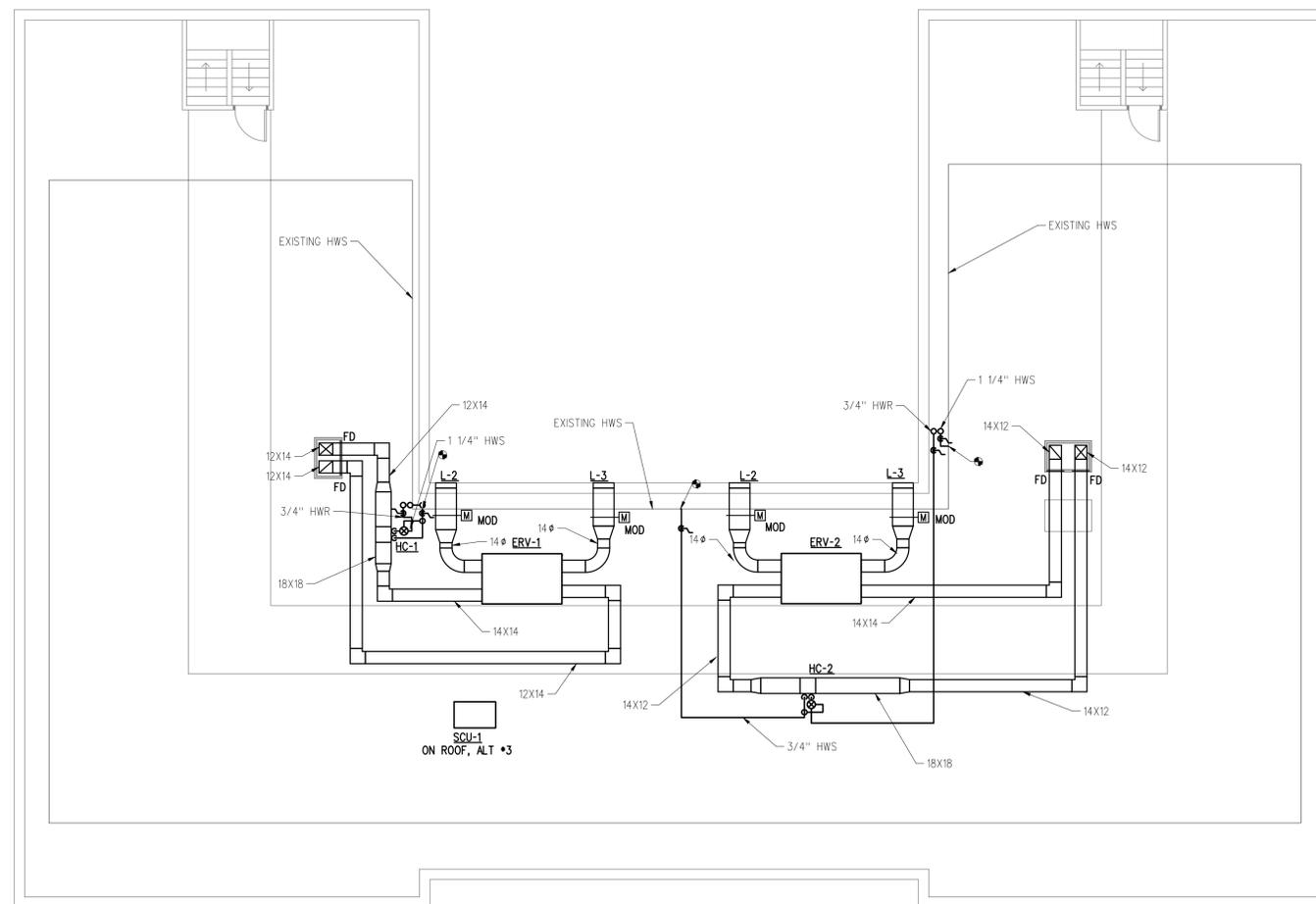
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09/15/2023

TITLE
THIRD FLOOR
MECHANICAL PLAN

SHEET
M103



1 ATTIC MECHANICAL PLAN
M103 SCALE: 1/8" = 1'-0"

MALLET HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH



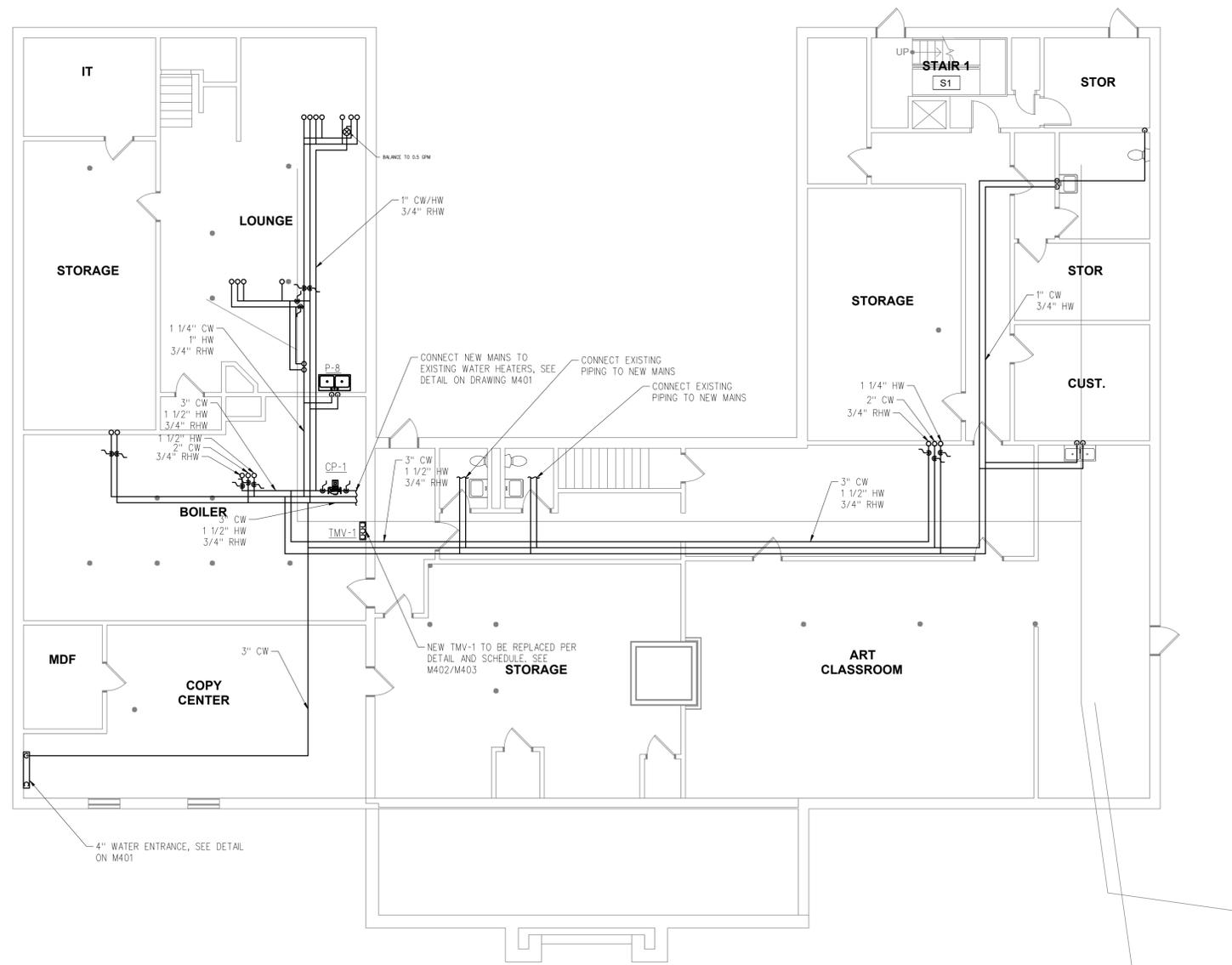
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09/15/2023

TITLE
ATTIC MECHANICAL
PLAN

SHEET
M104

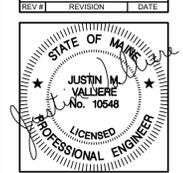


1
M200 **BASEMENT PLUMBING PLAN**
SCALE: 1/8" = 1'-0"

MALLET HALL

AREA OF WORK PLAN

PLAN NORTH **TRUE NORTH**



JOB NO.
082184

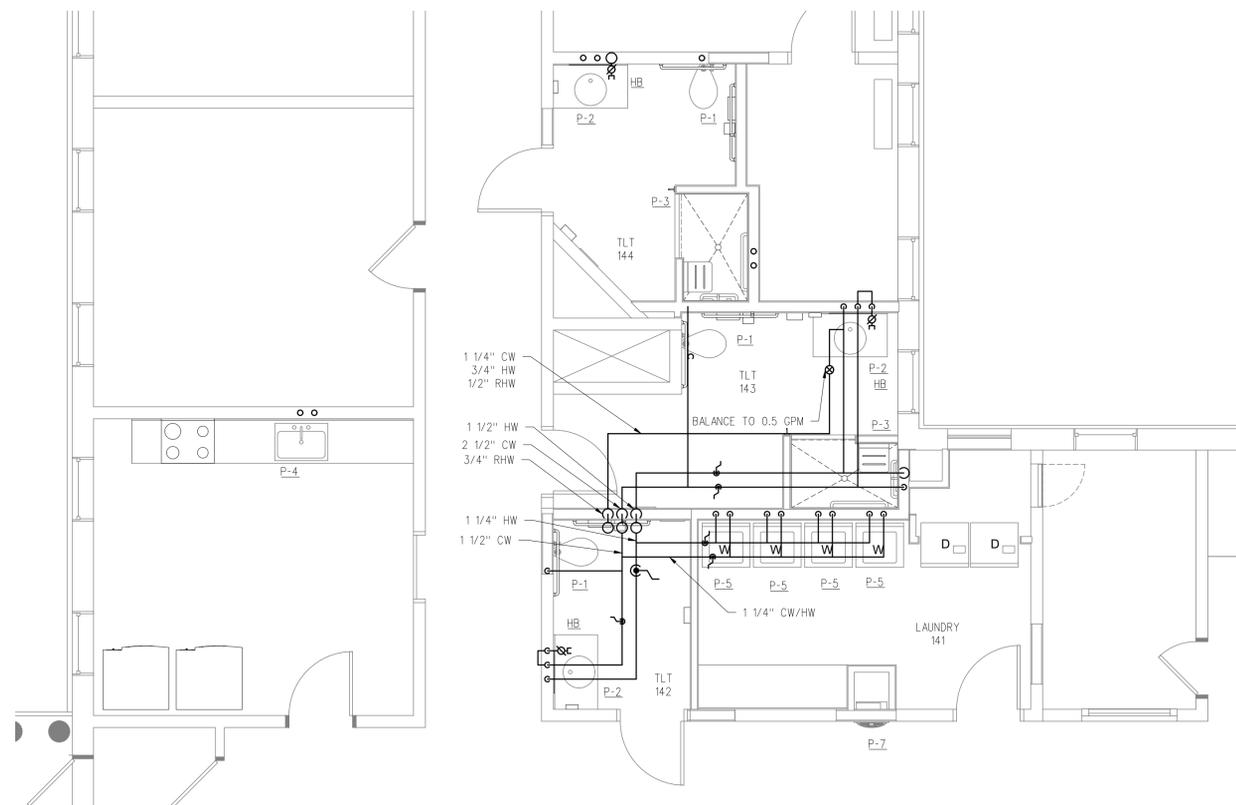
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ISSUE
09/15/2023

TITLE
BASEMENT
PLUMBING PLAN

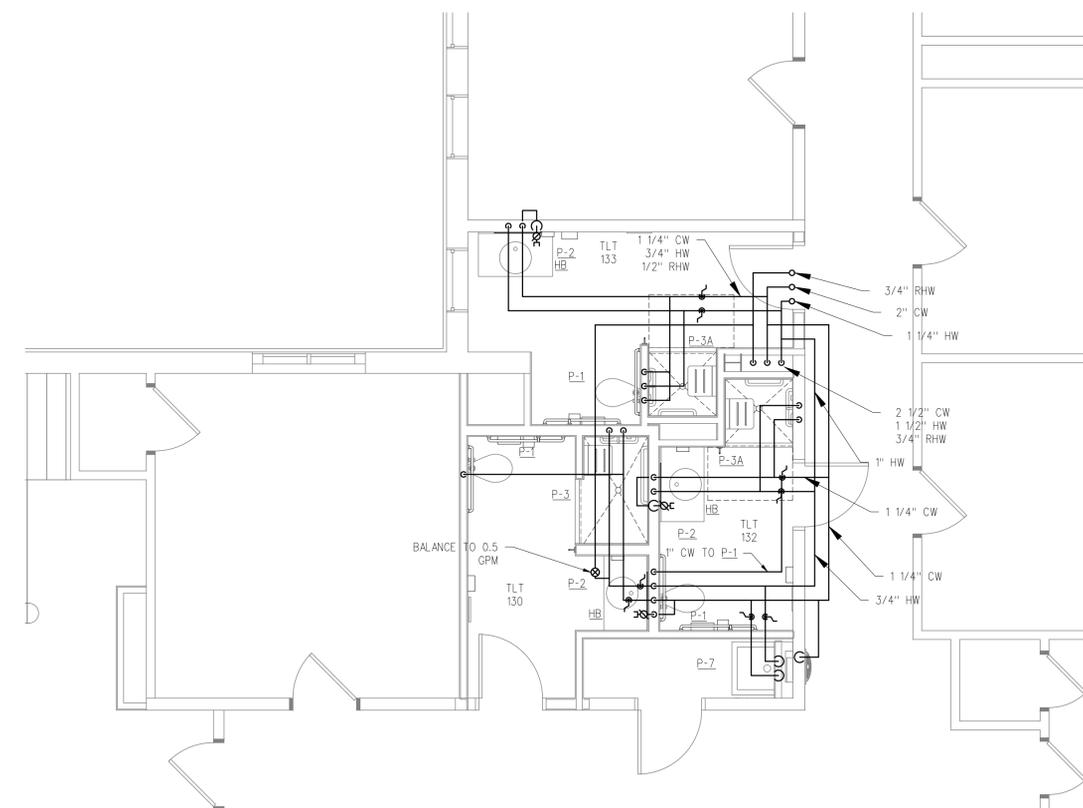
SHEET
M200

GENERAL PLUMBING NOTES:
1. HOSE BIBS SHALL BE INSTALLED UNDER LAVATORY.
2. SINGLE BATHROOM PIPING SHALL BE 1-1/4" CW, 3/4" HW
3. PIPING SHOWN DIAGRAMMATICAL IN CORRIDOR BUT SHALL BE RUN IN CEILING OF BATHROOM AREA. NO PIPING TO BE LOCATED IN CORRIDOR CEILING.



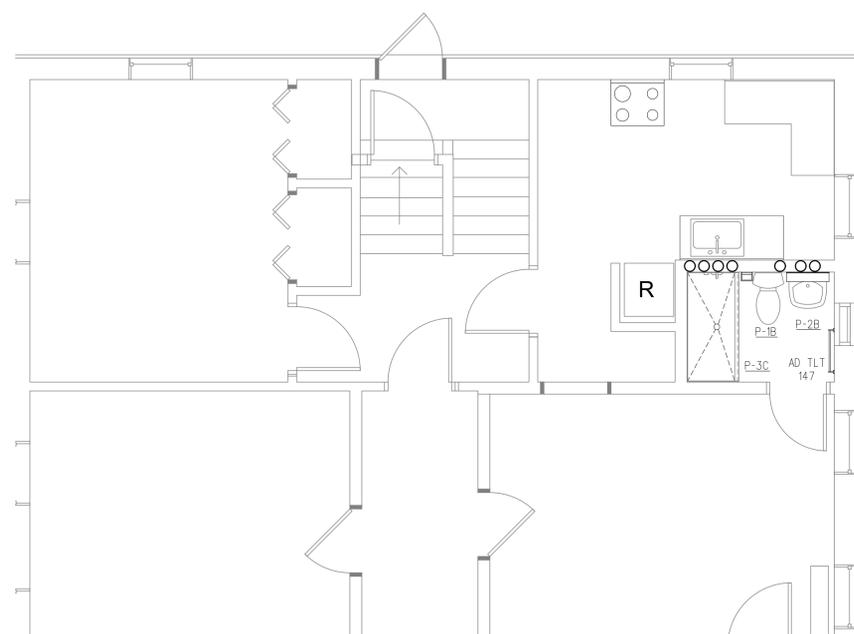
1 FIRST FLOOR PLUMBING PLAN - AREA A & D

M201 SCALE: 1/4" = 1'-0"



3 FIRST FLOOR PLUMBING PLAN - AREA B

M201 SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLUMBING PLAN - AREA D

M201 SCALE: 1/4" = 1'-0"

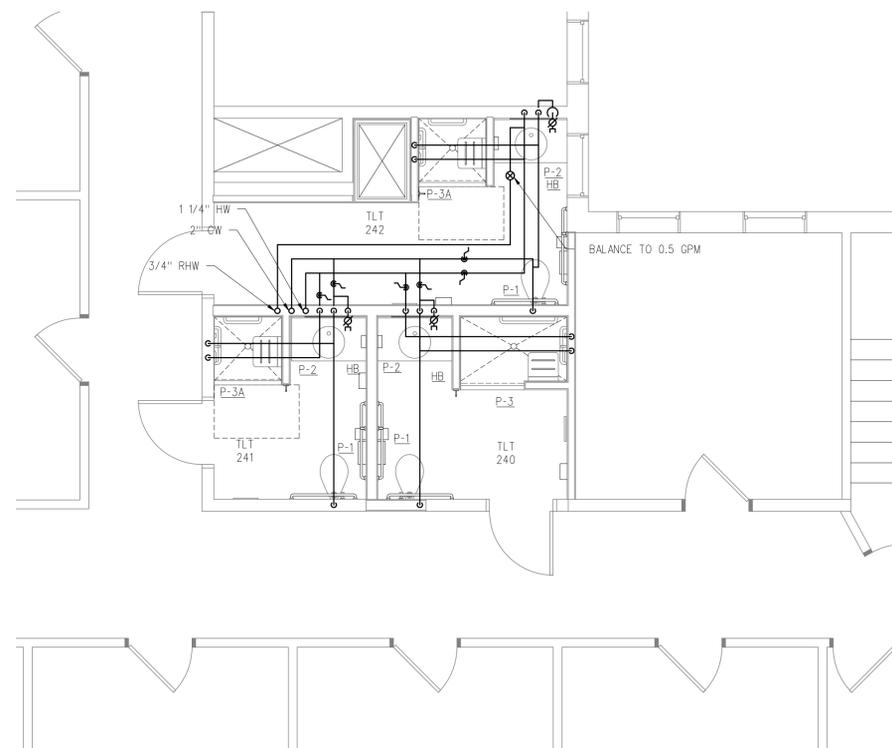
MALLET HALL

AREA OF WORK PLAN

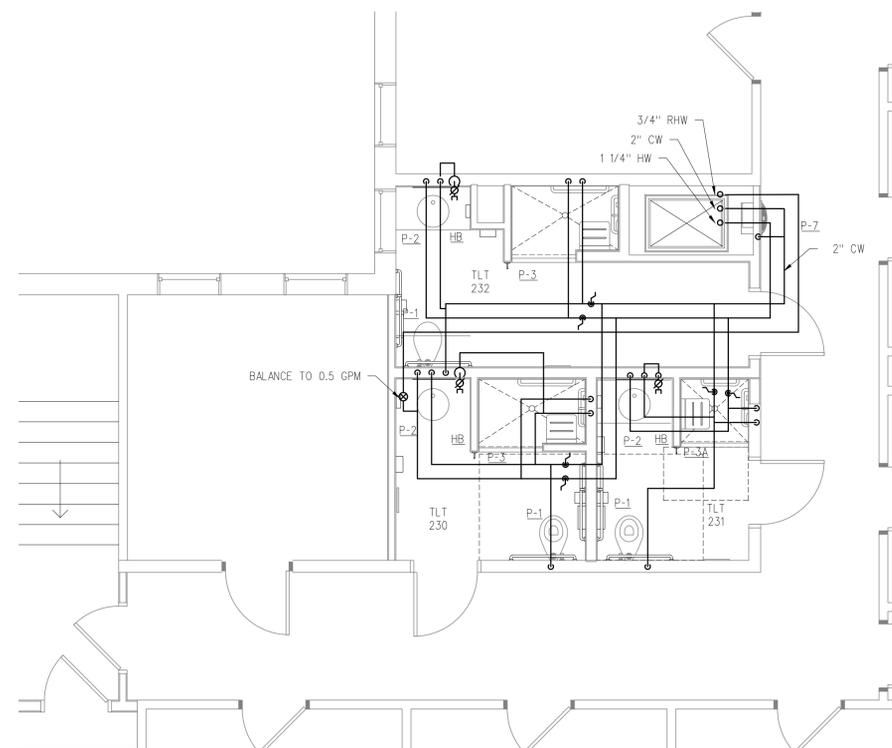
PLAN NORTH

TRUE NORTH

GENERAL PLUMBING NOTES:
1. HOSE BIBS SHALL BE INSTALLED UNDER LAVATORY.
2. SINGLE BATHROOM PIPING SHALL BE 1 1/4" CW, 3/4" HW
3. PIPING SHOWN DIAGRAMMATICAL IN CORRIDOR BUT SHALL BE RUN IN CEILING OF BATHROOM AREA. NO PIPING TO BE LOCATED IN CORRIDOR CEILING.



1 SECOND FLOOR PLUMBING PLAN - AREA A
M202 SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLUMBING PLAN - AREA B
M202 SCALE: 1/4" = 1'-0"

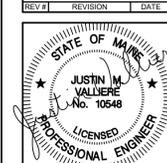
MALLET HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH

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HIGH STREET - FARMINGTON - ME - 04938



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082184

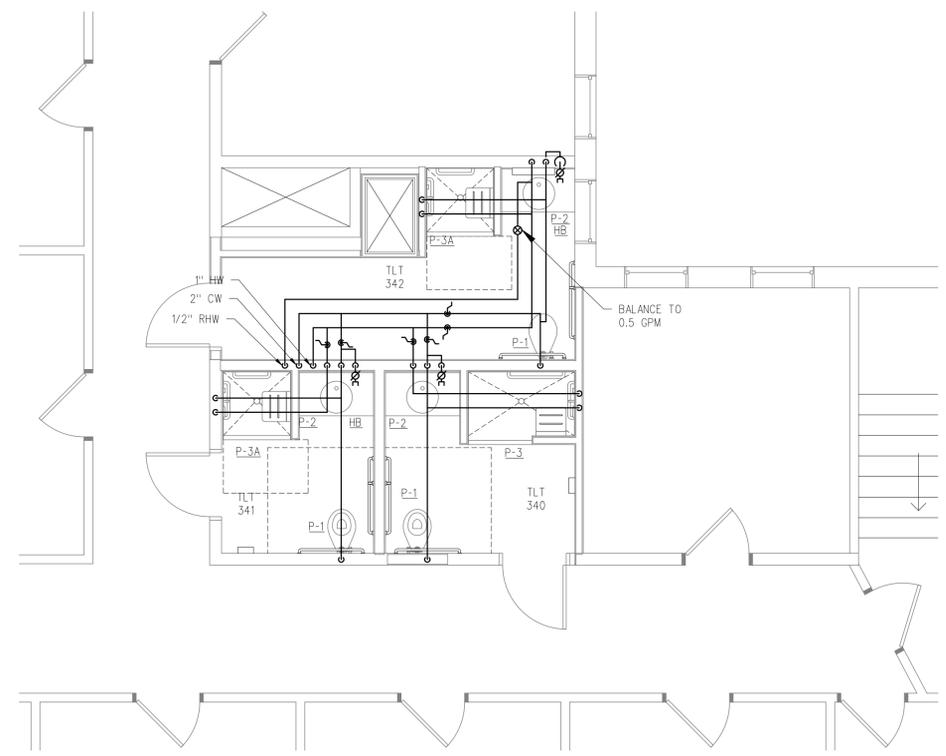
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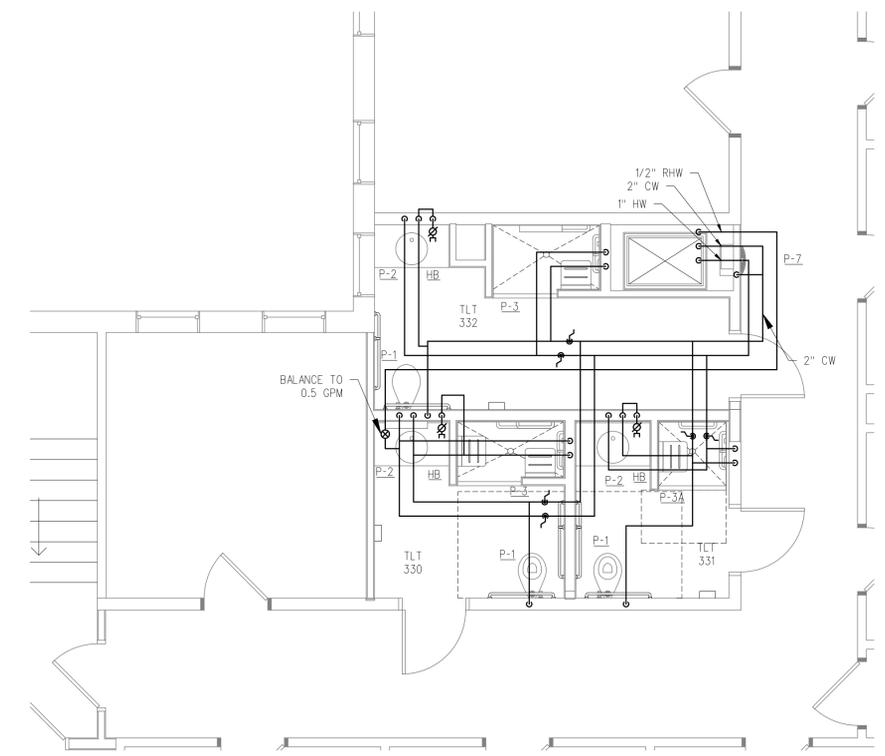
TITLE
SECOND FLOOR
PLUMBING PLAN

SHEET
M202

GENERAL PLUMBING NOTES:
1. HOSE BIBS SHALL BE INSTALLED UNDER LAVATORY.
2. SINGLE BATHROOM PIPING SHALL BE 1 1/4" CW, 3/4" HW
3. PIPING SHOWN DIAGRAMMATICAL IN CORRIDOR BUT SHALL BE RUN IN CEILING OF BATHROOM AREA. NO PIPING TO BE LOCATED IN CORRIDOR CEILING.



1
M203 **THIRD FLOOR PLUMBING PLAN - AREA A**
SCALE: 1/4" = 1'-0"



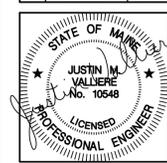
2
M203 **THIRD FLOOR PLUMBING PLAN - AREA B**
SCALE: 1/4" = 1'-0"

MALLET HALL

AREA OF WORK PLAN

PLAN NORTH TRUE NORTH

Mallet Hall Renovation
HIGH STREET - FARMINGTON - ME - 04938



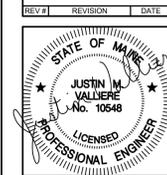
JOB NO.
082184

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AND PERMIT

ISSUE
09/15/2023

TITLE
THIRD FLOOR
PLUMBING PLAN

SHEET
M203



JOB NO.
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09/15/2023

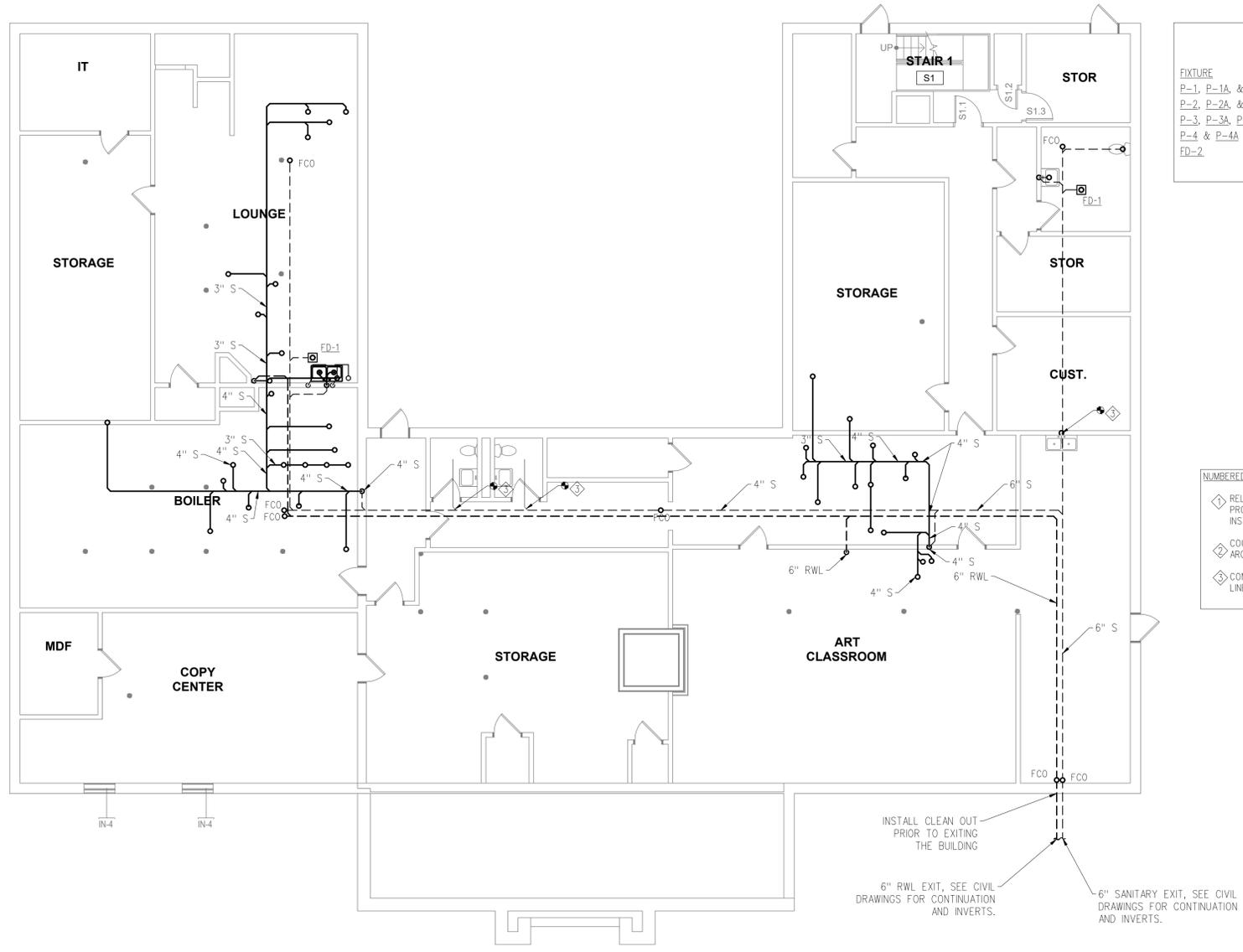
TITLE
BASEMENT
SANITARY PLAN

SHEET
M300

SANITARY/VENT RISERS
SHALL BE AS FOLLOWS:
(UNLESS OTHERWISE NOTED ON DRAWING)

FIXTURE	SANITARY	VENT
P-1, P-1A, & P-1B	3"	2"
P-2, P-2A, & P-2B	2"	2"
P-3, P-3A, P-3B, & P-3C	2"	2"
P-4 & P-4A	2"	2"
FD-2	3"	2"

- NUMBERED NOTES:
- ① RELOCATE SINK AND ASSOCIATED PIPING TO NEW PROPOSED LOCATION. COORDINATE FINAL LOCATION AND INSTALLATION PER ARCHITECTURAL DRAWINGS.
 - ② COORDINATE FINAL LOCATION AND INSTALLATION PER ARCHITECTURAL DRAWINGS.
 - ③ CONNECT EXISTING PIPING TO NEW PROPOSED SANITARY LINE, FIELD VERY LOCATION

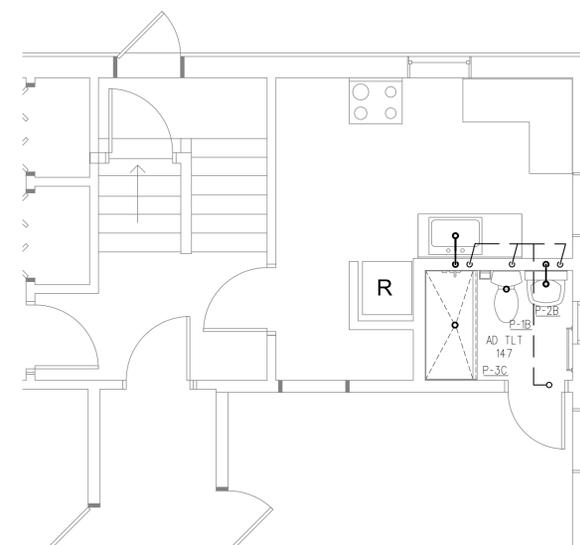


1 BASEMENT SANITARY PLAN
M300 SCALE: 1/8" = 1'-0"

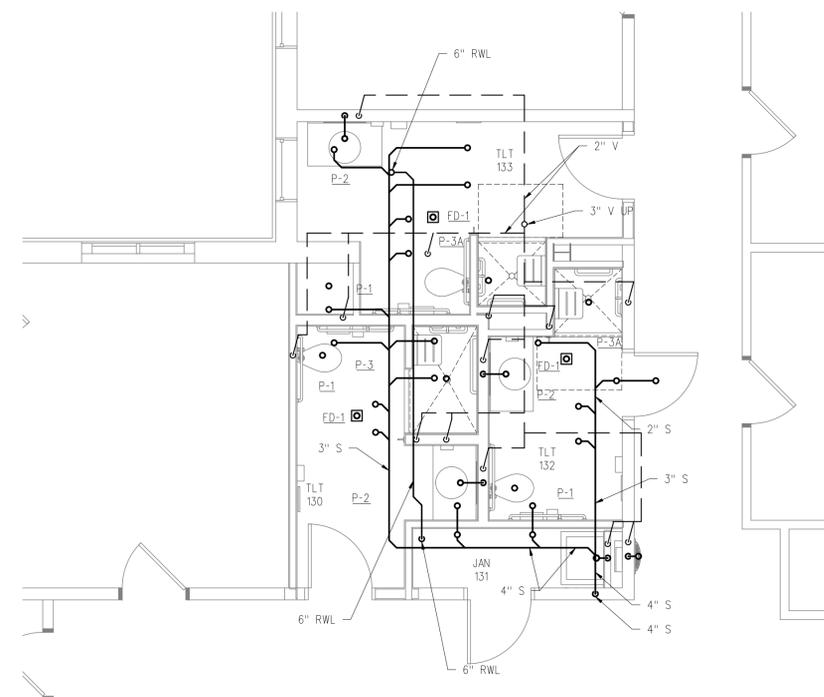
MALLET HALL

AREA OF WORK PLAN

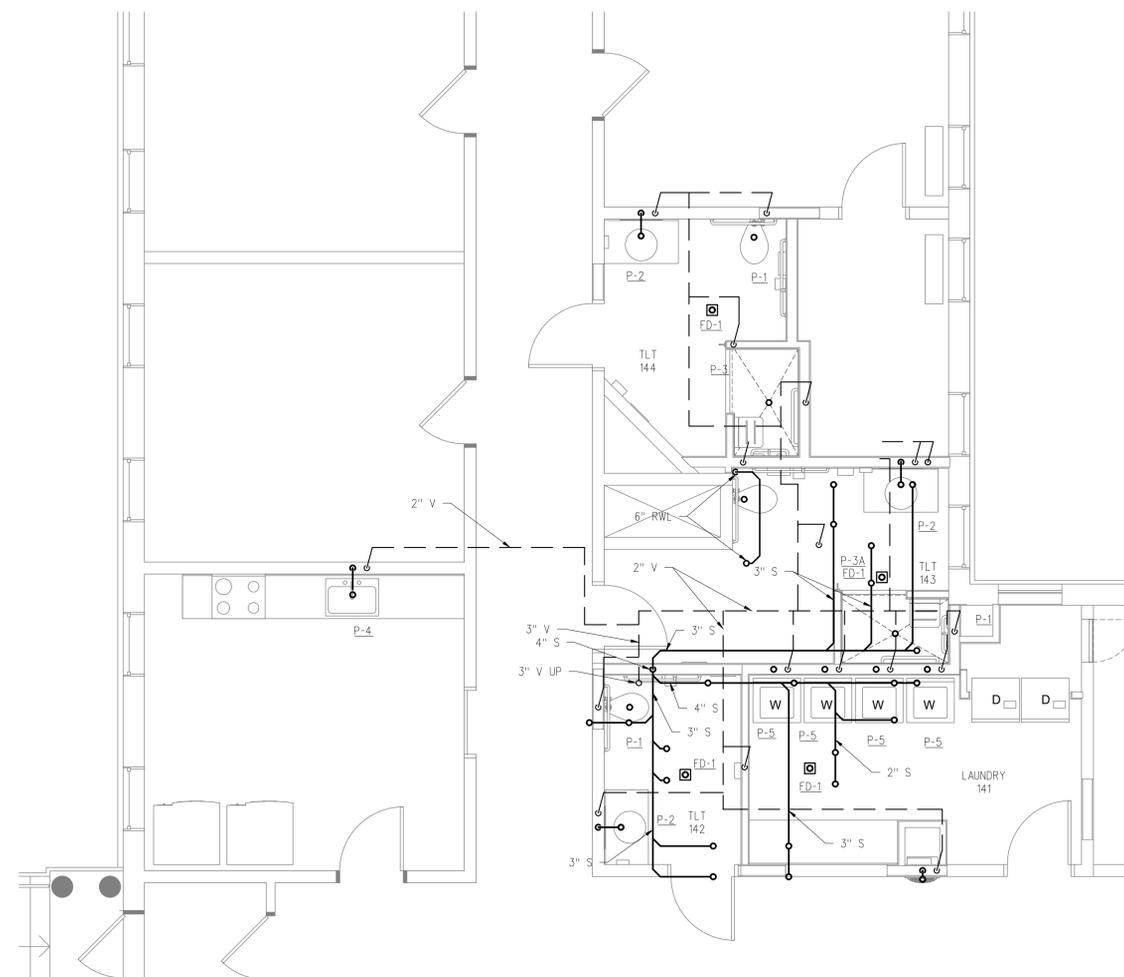
PLAN NORTH TRUE NORTH



2 FIRST FLOOR SANITARY PLAN - AREA D
M301 SCALE: 1/4" = 1'-0"



3 FIRST FLOOR SANITARY PLAN - AREA B
M301 SCALE: 1/4" = 1'-0"



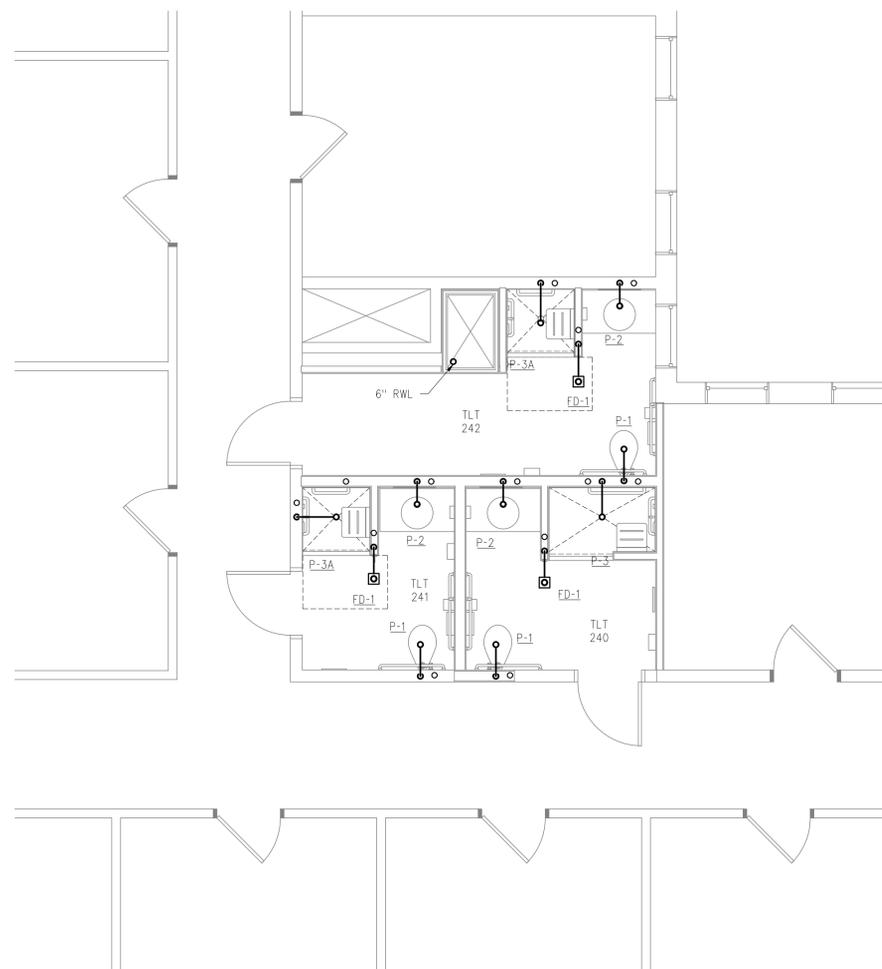
1 FIRST FLOOR SANITARY PLAN - AREA A & D
M301 SCALE: 1/4" = 1'-0"

MALLET HALL

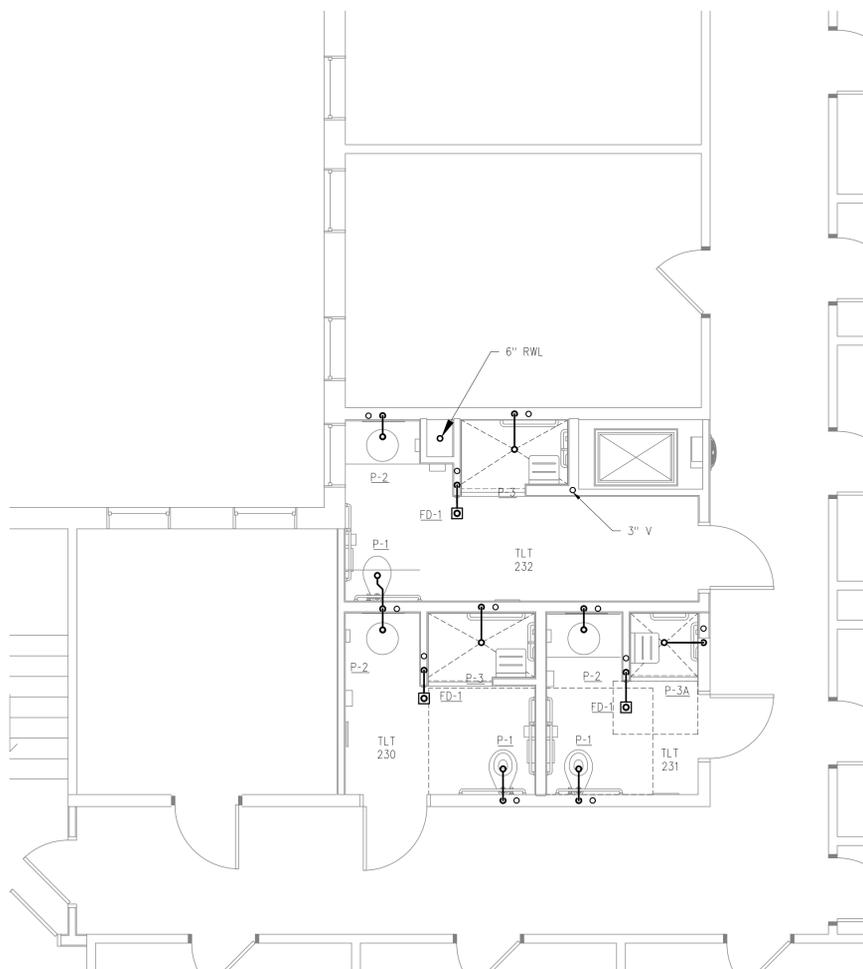
AREA OF WORK PLAN

PLAN NORTH TRUE NORTH

SANITARY/VENT RISERS SHALL BE AS FOLLOWS: (UNLESS OTHERWISE NOTED ON DRAWING)		
FIXTURE	SANITARY	VENT
P-1, P-1A, & P-1B	3"	2"
P-2, P-2A, & P-2B	2"	2"
P-3, P-3A, P-3B, & P-3C	2"	2"
P-4 & P-4A	2"	2"
FD-2	3"	2"



1
M302 **SECOND FLOOR SANITARY PLAN - AREA A**
SCALE: 1/4" = 1'-0"



2
M302 **SECOND FLOOR SANITARY PLAN - AREA B**
SCALE: 1/4" = 1'-0"

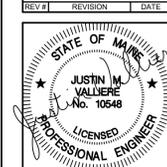
MALLET HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH

Mallet Hall Renovation
HIGH STREET - FARMINGTON - ME - 04938



JOB NO.
082184

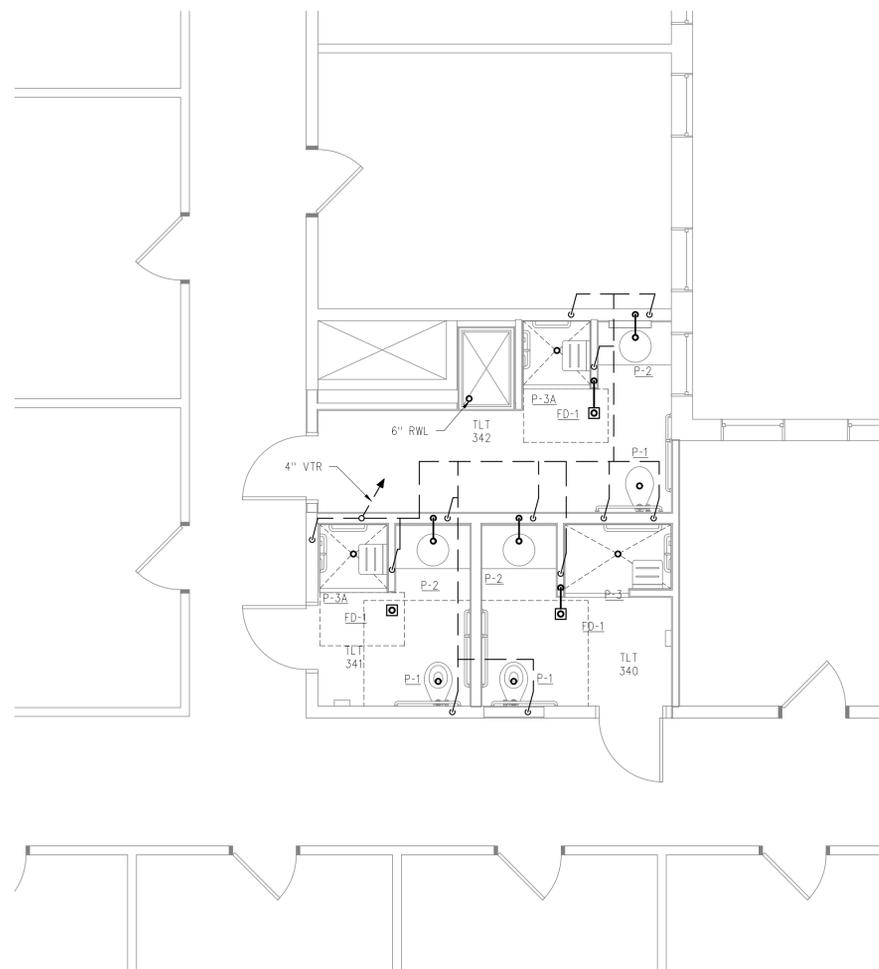
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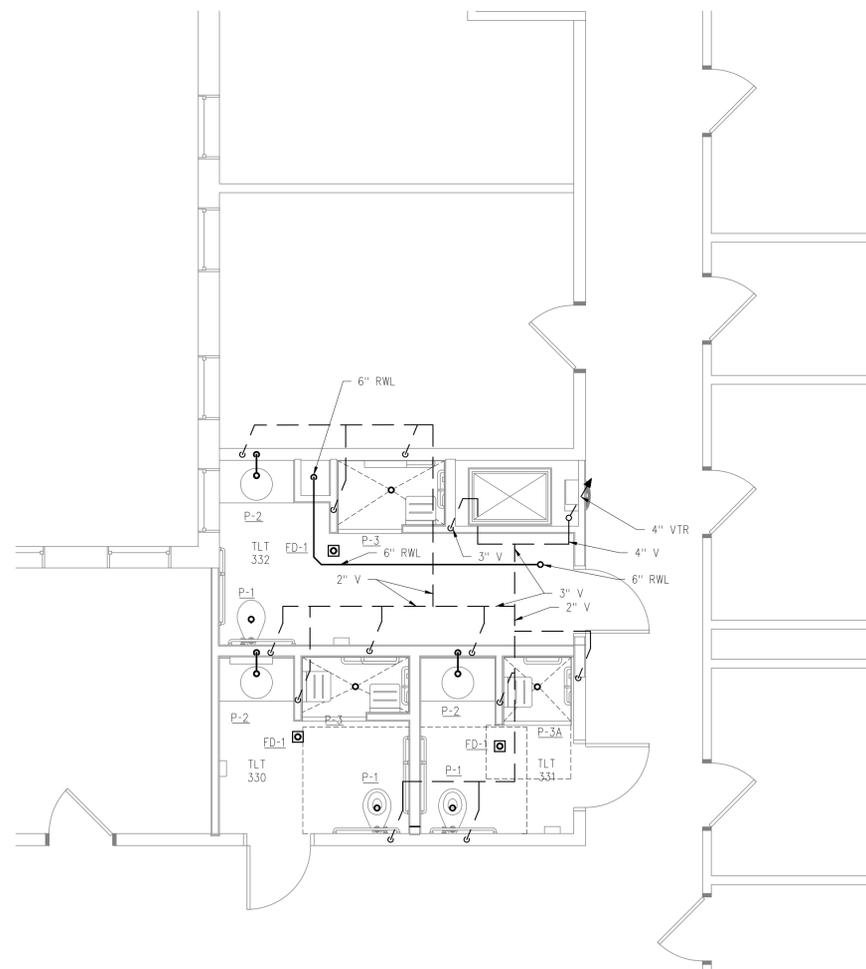
TITLE
SECOND FLOOR
SANITARY PLAN

SHEET
M302

FIXTURE	SANITARY/VENT RISERS SHALL BE AS FOLLOWS: (UNLESS OTHERWISE NOTED ON DRAWING)	
	SANITARY	VENT
P-1, P-1A, & P-1B	3"	2"
P-2, P-2A, & P-2B	2"	2"
P-3, P-3A, P-3B, & P-3C	2"	2"
P-4 & P-4A	2"	2"
ED-2	3"	2"



1 THIRD FLOOR SANITARY PLAN - AREA A
M303 SCALE: 1/4" = 1'-0"



2 THIRD FLOOR SANITARY PLAN - AREA B
M303 SCALE: 1/4" = 1'-0"

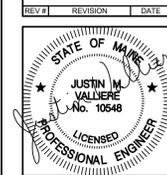
MALLET HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH

Mallet Hall Renovation
HIGH STREET - FARMINGTON - ME - 04938



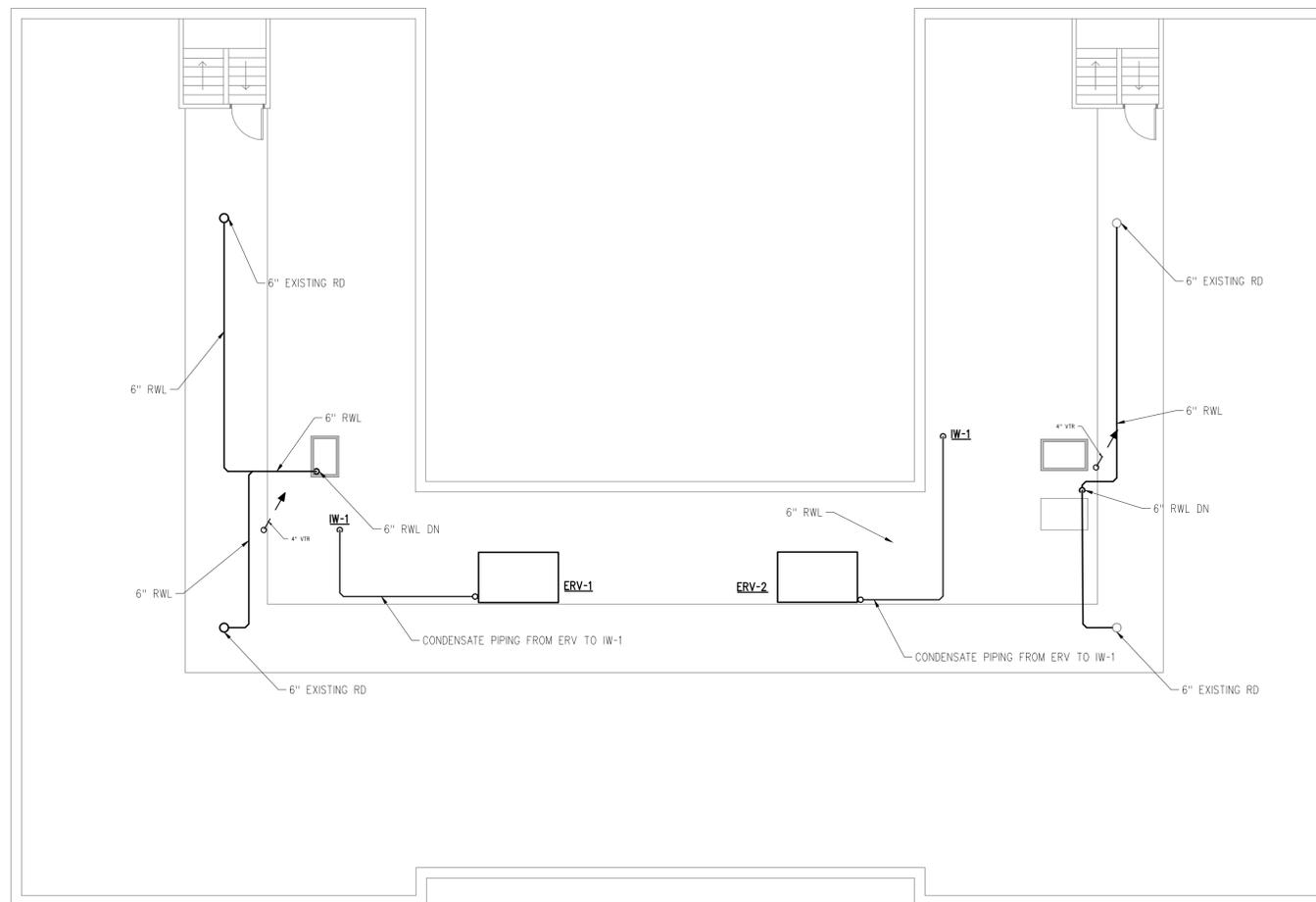
JOB NO.
082184

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ISSUE
09/15/2023

TITLE
THIRD FLOOR
SANITARY PLAN

SHEET
M303



1
M304 **ATTIC SANITARY PLAN**
SCALE: 1/8" = 1'-0"

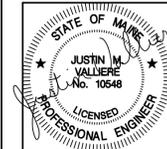
MALLET HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH

REV. #	REVISION	DATE



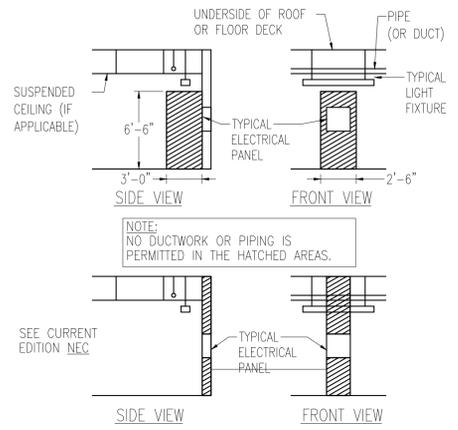
JOB NO.
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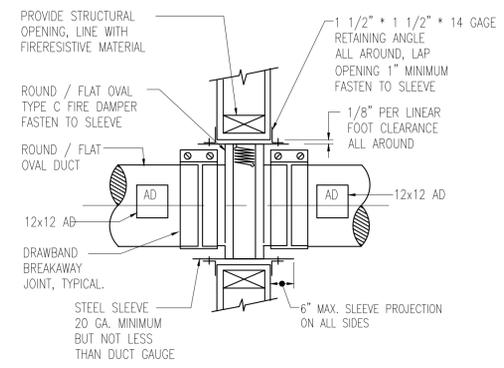
ISSUE
09/15/2023

TITLE
ATTIC SANITARY
PLAN

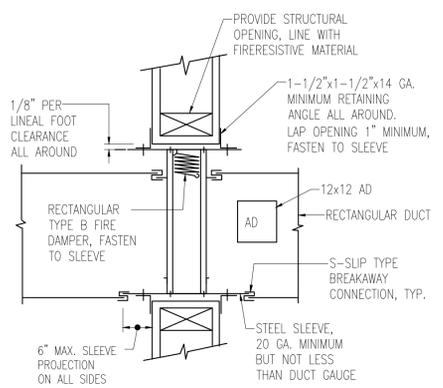
SHEET
M304



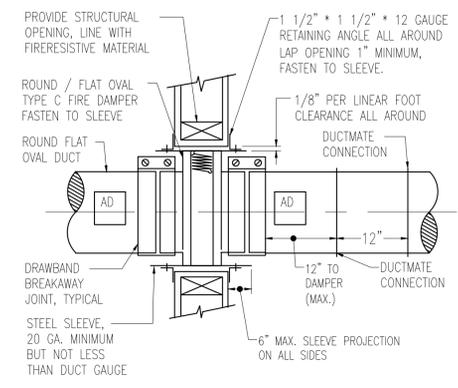
CLEARANCES AT ELECTRICAL PANELS
NTS



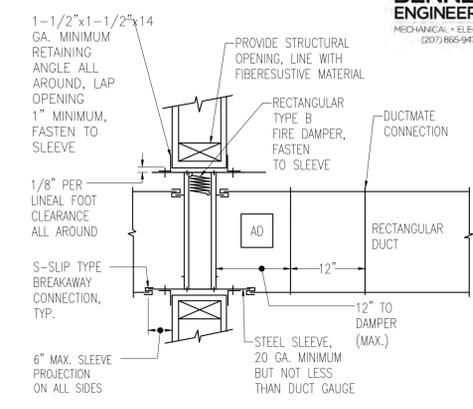
ROUND/OVAL FIRE DAMPER
INSTALL DETAIL
NTS



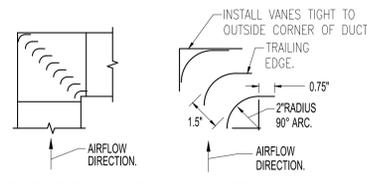
RECTANGULAR FIRE DAMPER
INSTALLATION DETAIL
NTS



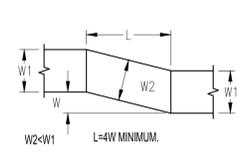
ROUND/OVAL FIRE DAMPER INSTALLATION DETAIL
WHERE A 12X12 ACCESS DOOR IS NOT POSSIBLE
NTS



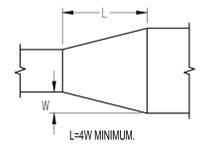
RECTANGULAR FIRE DAMPER INSTALL DETAIL
WHERE A 12X12 ACCESS DOOR IS NOT POSSIBLE
NTS



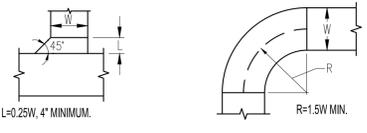
RECT. ELBOW W/ TURNING VANES
NTS



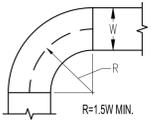
OFFSET TYPE 1
(ANGLED)
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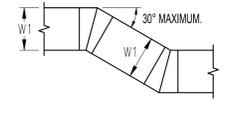
CONCENTRIC
TRANSITION
NTS



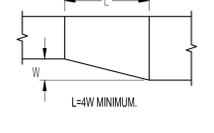
RECTANGULAR TAP
45 DEGREE ENTRY
NTS



RADIUS ELBOW
NTS

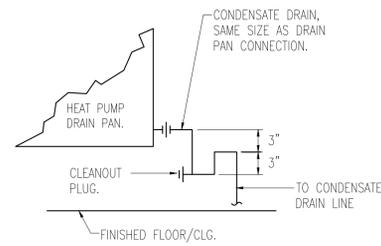


OFFSET TYPE 2
(MITERED)
NTS

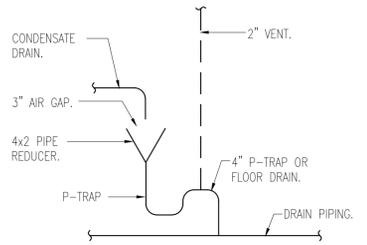


ECCENTRIC
TRANSITION
NTS

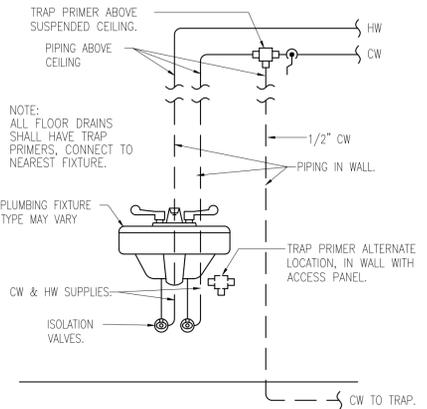
LOW PRESSURE DUCT CONSTRUCTION DETAILS - TYPICAL
NTS



CONDENSATE TRAP DETAIL
NTS



INDIRECT WASTE DETAIL
NTS

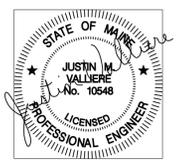
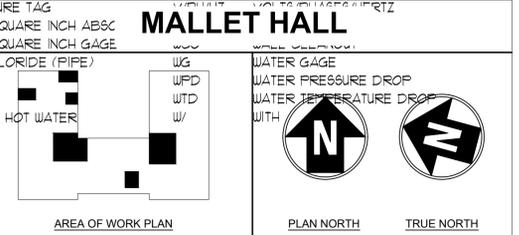


TRAP PRIMER CONNECTION DETAIL
NTS

MECHANICAL AND PLUMBING SYMBOLS AND ABBREVIATIONS LEGEND

NOTE - USE SYMBOLS AND ABBREVIATIONS AS APPLICABLE FOR THIS MECHANICAL DRAWING SET. SOME SYMBOLS AND ABBREVIATIONS IN THIS LEGEND MAY NOT APPLY.

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION
CA	COMPRESSED AIR PIPING (CA)	BPP	BACKFLOW PREVENTER (BPP)	PG	PRESSURE GAGE WITH GAGE COCK	AAV	AUTOMATIC AIR VENT	EDB	ENTERING DRY BULB	I-B-R	INSTITUTE OF BOILER AND RADIATOR MANUFACTURERS	RLA	RUNNING LOAD AMPS
C	CONDENSATE DRAIN PIPING (C)	CV	CHECK VALVE	TI	THERMOMETER IN WELL	AD	ACCESS DOOR	EDC*	ELECTRIC DUCT COIL TAG	IN.	INCHES	RPM	REVOLUTIONS PER MINUTE
CTR	COOLING TOWER RETURN PIPING (CTR)	AV	BALANCING VALVE (ADJUSTABLE)	PS	PRESSURE SWITCH OR SENSOR	AFF	ABOVE FINISHED FLOOR	EER	ENERGY EFFICIENCY RATIO	L	LOUVER TAG	RPZ	REDUCED PRESSURE ZONE
CTS	COOLING TOWER SUPPLY PIPING (CTS)	RV	AUTOMATIC FLOW CONTROL VALVE	MS	MURSION TEMPERATURE SENSOR	AHU*	AIR HANDLING UNIT TAG	EF*	EXHAUST FAN TAG	LAT	LEAVING AIR TEMPERATURE	RTU	ROOM TEMPERATURE SENSOR
CWR	CHILLED WATER RETURN PIPING (CWR)	BV	RELIEF VALVE (RV)	DM	DUCT MOUNTED SMOKE DETECTOR	AMS	AIRFLOW MONITORING STATION	EFF	EFFICIENCY	LAT	LEAVING AIR TEMPERATURE	RV	RELIEF VALVE
CWS	CHILLED WATER SUPPLY PIPING (CWS)	BV	BALL VALVE	RTS	ROOM TEMPERATURE SENSOR	AMPS	AMPERES	ESP	EXTERNAL STATIC PRESSURE	LB	POUNDS	RWL	RAINWATER LEADER
FOR	FUEL OIL RETURN PIPING (FOR)	3/4" BV	3/4" BALL VALVE WITH 3/4" HOSE END	TS	THERMOSTAT OR SENSOR ON WALL	AP	ACCESS PANEL	ET*	EXPANSION TANK TAG	LWS/R	LOOP WATER SUPPLY/RETURN	SA	SUPPLY AIR
FOS	FUEL OIL SUPPLY PIPING (FOS)	GR	GATE VALVE	TSAT	TSTAT OR SENSOR W/ TAMPERPROOF GUARD	APD	AIR PRESSURE DROP	EWB	ENTERING WET BULB	LRA	LOCKED ROTOR AMPS	SAN	SANITARY (DRAIN & WASTE)
G	GAS PIPING (G)	PRV	PRESSURE REDUCING VALVE	AV	MANUAL AIR VENT	AS*	AIR SEPARATOR TAG	EWH*	ELECTRIC WATER HEATER TAG	LWCO	LOW WATER CUTOFF	SD	SMOKE DAMPER
HWR	HOT WATER RETURN PIPING (HWR)	FV	FUSIBLE VALVE	NT	NOTE TAG (NUMBER)	ATC	AUTOMATIC TEMPERATURE CONTROL	EWT	ENTERING WATER TEMPERATURE	LUT	LEAVING WATER TEMPERATURE	SEER	SEASONAL ENERGY EFFICIENCY RATIO
HWS	HOT WATER SUPPLY PIPING (HWS)	SV	STRAINER W/BLOWDOWN BALL VALVE	250	AIR DEVICE TAG (LETTER) WITH CFM	BD*	BYPASS DAMPER TAG	EXG	EXISTING	MAX	MAXIMUM	SF	SUPPLY FAN
RL	REFRIGERANT LIQUID PIPING (RL)	2-WAY CV	2-WAY CONTROL VALVE	RN	ROOM NUMBER	BFP*	BACKFLOW PREVENTER TAG	EXH	EXHAUST	MBH	THOUSANDS OF BTU PER HOUR	SP	STATIC PRESSURE
RG	REFRIGERANT GAS PIPING (RG)	3-WAY CV	3-WAY CONTROL VALVE	TURN	TURNING VANES	BHP	BRAKE HORSEPOWER	FC	FLEXIBLE CONNECTION	MCA	MINIMUM CIRCUIT AMPACITY	ΔT	TEMPERATURE DIFFERENTIAL
SAN	SANITARY PIPING BELOW FLOOR (SAN)	4-WAY CV	4-WAY CONTROL VALVE (TOP VIEW)	FC	FLOOR CLEANOUT	BTUH	BRITISH THERMAL UNITS PER HOUR	FCO	FLOOR CLEANOUT	MIN	MINIMUM	TEMP.	TEMPERATURE
SAN	SANITARY PIPING ABOVE FLOOR (SAN)	2-WAY BV	2-WAY BUTTERFLY VALVE W/SINGLE ACTUATOR	FD	FIRE DAMPER	CC*	COOLING COIL TAG	FD	FLOOR DRAIN TAG	NC	NOISE CRITERION	TCP	TEMPERATURE CONTROL PANEL
RVL	RAINWATER LEADER ABOVE SLAB (RVL)	3-WAY BV	3-WAY BUTTERFLY VALVE W/ACTUATOR	FD*	FLOOR DRAIN TAG	CFM	CUBIC FEET PER MINUTE	FLA	FULL LOAD AMPS	NIC	NOT IN CONTRACT	TMV*	THERMOSTATIC MIXING VALVE TAG
CW	COLD WATER PIPING (CW)	TRIP	TRIPLE-DUTY VALVE	FLA	FULL LOAD AMPS	CF	CLEANOUT	FLA	FULL LOAD AMPS	NTS	NOT TO SCALE	TSP	TOTAL STATIC PRESSURE
HW	HOT WATER PIPING (HW)	UN	UNION	CF*	CIRCULATING PUMP TAG	CP*	CIRCULATING PUMP TAG	FPFB	FROST PROOF HOSE BIBB	OA	OUTSIDE AIR	TYP	TYPICAL
RHW	RECIRCULATED HOT WATER PIPING (RHW)	UF	PIPE FLANGE	CV	VALVE COEFFICIENT	Cv	VALVE COEFFICIENT	FRM	FEET PER MINUTE	OB	OPPOSED BLADE DAMPER	UH*	UNIT HEATER TAG
PCAP	PIPE CAP	PF	PUMP WITH FLANGES	CW	COLD WATER	CW	COLD WATER	FRM	FEET PER MINUTE	O.D.	OUTSIDE DIAMETER	VB	VACUUM BREAKER
DF	DIRECTION OF FLUID FLOW	PP	PUMP WITH FLANGES	DB	DRY BULB	DB	DRY BULB	FSD	COMBINATION FINE & SMOKE DAMPER	OED	OPEN ENDED DUCT	VFD	VARIABLE FREQUENCY DRIVE
EU	ELBOW UP	PP	PUMP WITH FLANGES	DB RE	DECIBELS RELATIVE TO	DB RE	DECIBELS RELATIVE TO	FT	FEET	OPD	OVERCURRENT PROTECTIVE DEVICE	VTR	VENT THRU ROOF
ED	ELBOW DOWN	PP	PUMP WITH FLANGES	DC	DOUBLE CHECK	DC	DOUBLE CHECK	GA	GAGE	P*	PLUMBING FIXTURE TAG		
TE	PIPE TEE UP	PP	PUMP WITH FLANGES	DCA	DOUBLE CHECK ATMOSPHERIC	DCA	DOUBLE CHECK ATMOSPHERIC	GAL	GALLONS	P&A	POUNDS PER SQUARE INCH ABSG		
TD	PIPE TEE DOWN	PP	PUMP WITH FLANGES	DEG F	DEGREES FAHRENHEIT	DEG F	DEGREES FAHRENHEIT	GPH	GALLONS PER HOUR	P&G	POUNDS PER SQUARE INCH GAGE		
RD	PIPE REDUCER	PP	PUMP WITH FLANGES	DIA	DIAMETER	DIA	DIAMETER	GPM	GALLONS PER MINUTE	PVC	POLYVINYL CHLORIDE (PIPE)		
WG	PIPE WITH GUIDE	PP	PUMP WITH FLANGES	DIW	DOWN IN WALL	DIW	DOWN IN WALL	HC*	HEATING COIL TAG	RA	RETURN AIR		
WA	PIPE WITH ANCHOR	PP	PUMP WITH FLANGES	DN	DOWN	DN	DOWN	HP	HORSEPOWER	RD	ROOF DRAIN		
BV	BUTTERFLY VALVE	PP	PUMP WITH FLANGES	EA	EXHAUST AIR	EA	EXHAUST AIR	HRV*	HEAT RECOVERY VENTILATOR TAG	RHW	RECIRCULATED HOT WATER		
		PP	PUMP WITH FLANGES	EAT	ENTERING AIR TEMPERATURE	EAT	ENTERING AIR TEMPERATURE	HW	HOT WATER				
		PP	PUMP WITH FLANGES					HWS/R	HOT WATER SUPPLY AND RETURN				



JOB NO. 082184

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ISSUE 09/15/2023

TITLE MECHANICAL LEGEND, SCHEDULES AND DETAILS

SHEET M400

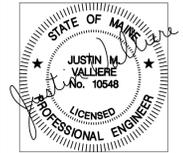
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Mallet Hall Renovation
HIGH STREET - FARMINGTON - ME - 04938

STATE OF MAINE
JUSTIN M. VALIERE
No. 10548
LICENSED PROFESSIONAL ENGINEER

REV #1 REVISION DATE



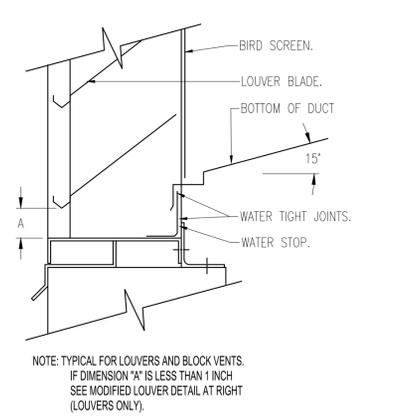
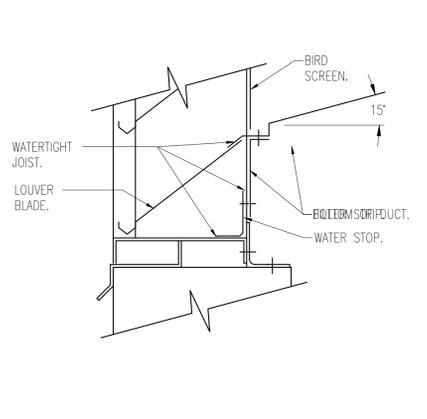
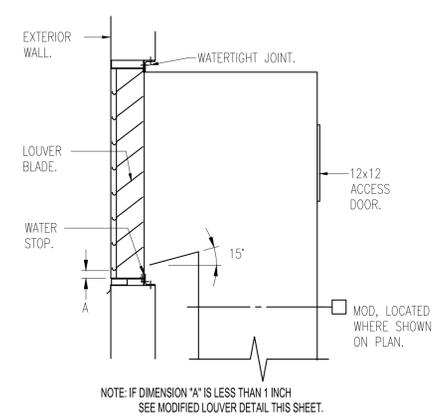
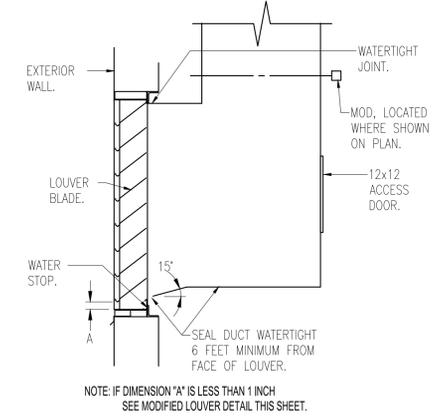
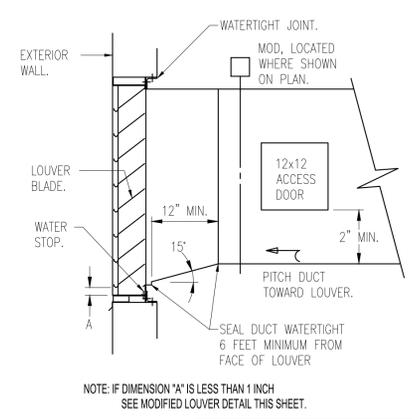
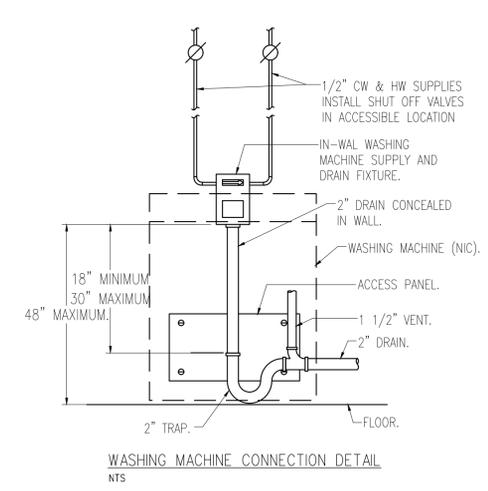
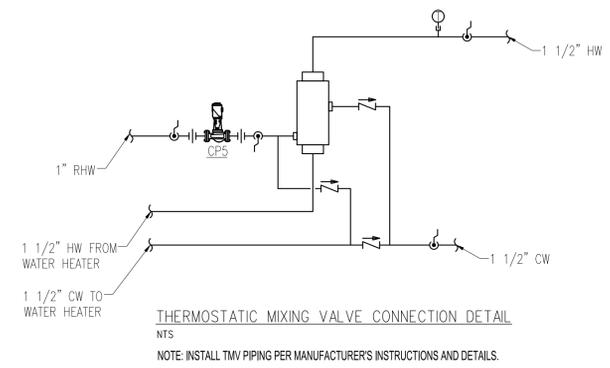
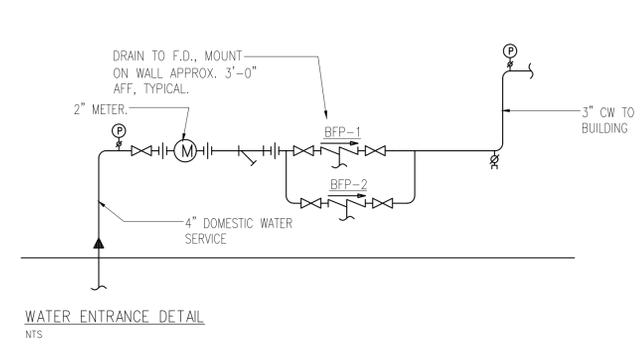
JOB NO.
082184

ISSUED FOR BID AND PERMIT

ISSUE
09/15/2023

TITLE
MECHANICAL
LEGEND, SCHEDULES
AND DETAILS

SHEET
M401



MALLET HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH

ENERGY RECOVERY VENTILATOR PERFORMANCE SCHEDULE

TAG	AIR STREAM	DUCT CONNECTIONS		UNIT AIRFLOW			ENERGY RECOVERY - WINTER					ENERGY RECOVERY - SUMMER					HEATING COIL	COOLING COIL	ELECTRICAL REQUIREMENTS			WEIGHT (LBS)	BASIS OF DESIGN: RENEWAIRE		NOTES		
		ENTERING	LEAVING	CFM	E.S.P. (INWC)	T.S.P. (INWC)	HP	BHP	E.D.B (F)	E.W.B (F)	L.D.B (F)	L.W.B (F)	EFF. %	E.D.B (F)	E.W.B (F)	L.D.B (F)			L.W.B (F)	EFF %	V/PH/Hz		MCA	MOP		SERVES	MODEL
ERV-1	SUPPLY	END	END	1000	0.75	--	0.1	--	-15.0	-16.0	49.2	39.4	75.3	89.0	73.0	78.4	66.6	59.7	HC-1	SEE NOTE	208/1/60	21.4	30	1303	Mallet Hall	RD-2XJIN7AS15VVXS	ALL
	EXHAUST	END	END	1000	0.75	--		--	70.0	25% RH	--	--	75.3	75.0	50% RH	--	--	59.7									
ERV-2	SUPPLY	END	END	950	0.75	--	0.1	--	-15	-16.0	49.8	39.8	75.9	89.0	73.0	78.3	66.5	60.7	HC-2	SEE NOTE	208/1/60	21.4	30	1303	Mallet Hall	RD-2XJIN7AS15VVXS	ALL
	EXHAUST	END	END	950	0.75	--		--	70	25% RH	--	--	75.9	75.0	50% RH	--	--	60.7									

- NOTE:
 1. PROVIDE WITH FUSED DISCONNECT, 2" ERV 13 FILTERS AND PREMIUM PACKAGED CONTROLS WITH ADJUSTABLE TIMECLOCK.
 2. PROVIDE WITH DX COOLING COIL CAPABLE OF 55F DISCHARGE (FOR FUTURE USE)

REGISTERS, GRILLES AND DIFFUSERS SCHEDULE

TAG	DESCRIPTION	MAX CFM	MODULE SIZE W X H	NECK SIZE (INCHES)	MAX STATIC PRESSURE (IN. WC)	SOUND (NC)	BASIS OF DESIGN: METALAIRE	
							MODEL	REMARKS
A	CEILING DIFFUSER	100	12x12	6	0.01	-	5700	NOTES: ALL
AA	CEILING RETURN GRILLE	100	-	8X8	0.02	-	RP	NOTES: ALL

- NOTES:
 1. PROVIDE ALL REGISTERS, GRILLES AND DIFFUSERS WITH OPPOSED BLADE DAMPERS
 2. LAY-IN OR SURFACE MOUNT IN ACCORDANCE WITH ARCHITECTS REFLECTIVE CEILING PLAN.
 3. PRODUCT SELECTION SHALL BE BASED ON NOISE CRITERIA LESS THAN NC-30.

PLUMBING FIXTURE CONNECTION SCHEDULE

TAG	DESCRIPTION	SAN	VENT	CW	HW
P-1	ADA FLUSHVALVE WATER CLOSET TT (PUBLIC)	3"	2"	1"	-
P-1A	ADA WATER CLOSET TT (PUBLIC)	3"	2"	1"	-
P-1B	ADA WATER CLOSET TT (PRIVATE)	3"	2"	1"	-
P-2	ADA LAVATORY (PUBLIC)	1-1/2"	1-1/2"	1/2"	1/2"
P-2A	ADA WALL HUNG LAVATORY (PUBLIC)	1-1/2"	1-1/2"	1/2"	1/2"
P-2B	ADA WALL HUNG LAVATORY (PRIVATE)	1-1/2"	1-1/2"	1/2"	1/2"
P-3	ADA 60" SHOWER	2"	1-1/2"	1/2"	1/2"
P-3A	ADA 36" SHOWER	2"	1-1/2"	1/2"	1/2"
P-3B	ADA 36" SHOWER	2"	1-1/2"	1/2"	1/2"
P-3C	ADA 60" SHOWER	2"	1-1/2"	1/2"	1/2"
P-4	ADA KITCHEN SINK	2"	2"	1/2"	1/2"
P-4A	ADA KITCHEN SINK (PUBLIC)	2"	2"	1/2"	1/2"
P-5	WASHING MACHINE BOX	2"	2"	1/2"	1/2"
P-6	MOP SINK	3"	2"	3/4"	3/4"
P-7	ADA B-LEVEL WATER COOLER	1-1/2"	1-1/2"	1/2"	-
FD-1	FLOOR DRAIN (CONCRETE DECK)	3"	2"	-	-
HB	HOSE BIB	-	-	1/2"	-

- NOTES:
 1. MINIMUM SIZE OF BELOW SLAB SANITARY & VENT PIPING SHALL BE 2".
 2. PROVIDE TRAP PRIMERS ON FLOOR DRAINS, CONNECT TO NEAREST FIXTURE.

LOUVER PERFORMANCE SCHEDULE

TAG	AIRFLOW (CFM)	MODULE SIZE W X H	AIR VELOCITY (FPM)	FREE AREA (SQFT)	MAX STATIC PRESSURE (IN. WC)	BASIS OF DESIGN: RUSKIN		
						SERVICE	MODEL	REMARKS
L-1	800	36" X 18"	407	1.97	0.03	DRYER INTAKE	ELF6375DX	NOTES: ALL
L-2	1000	24" X 24"	530	1.89	0.04	ERV EXHAUST	ELF6375DX	NOTES: ALL
L-3	1000	24" X 24"	530	1.89	0.04	ERV INTAKE	ELF6375DX	NOTES: ALL

- NOTES:
 1. PRODUCT SELECTION SHALL BE BASED ON AIR VELOCITY OF LESS THAN 700 FPM.

HEAT PUMP OUTDOOR UNIT PERFORMANCE SCHEDULE

TAG	NOMINAL COOLING (MBH)*	NOMINAL HEATING (MBH)*	CORRECTED COOLING (MBH)**	CORRECTED HEATING (MBH)**	EER	REFRIGERANT	MINIMUM COOLING TEMP(DEG F)	MINIMUM HEATING TEMP(DEG F)	FOOTPRINT DIM (INCHES) (HxWxD)	OPERATING WEIGHT (LBS)	ELECTRICAL REQUIREMENTS				REFRIGERANT LINES		SOUND (DBA)	BASIS OF DESIGN: MITSUBISHI			
											MODULE 1		MODULE 2		V/PH/Hz	LIQUID (IN)		GAS (IN)	SERVICE	MODEL	NOTES
											MCA	MOCP	MCA	MOCP							
SCU-1	96.0	108.0	94.8	49.3	15.3	R-410A	23.0	-13 / -27	72x49x30	650	31.0	45.0	--	--	208/1/60	3/8	7/8	56	ERVS	PUHY-EP96TNU-A	ALL

- * NOMINAL HEATING AND COOLING AT AHRI CONDITIONS OF 80°F DB / 67°F WB (INDOOR) AND 95°F OUTDOOR FOR COOLING AND 70°F DB / 60°F WB (INDOOR AND 47°F OUTDOOR FOR HEATING
 ** CORRECTED COOLING AS PART OF THE SPECIFIC COMPLETE SYSTEM INCLUDING LINE LENGTHS AND AT OUTDOOR CONDITIONS OF 95°F DB AND INDOOR CONDITIONS OF 75°F DB / 63.9°F WB
 *** CORRECTED HEATING AS PART OF THE SPECIFIC COMPLETE SYSTEM INCLUDING LINE LENGTHS AND WITH A 5% DEFROST AND AT OUTDOOR CONDITIONS OF -10.0°F DB AND INDOOR CONDITIONS OF 70°F DB
 1. PROVIDE SNOW/HAIL GUARDS.
 2. PROVIDE BRANCH BOXES

SPLIT - SYSTEM HEAT PUMP INDOOR UNIT PERFORMANCE SCHEDULE

TAG	CORRESPONDING OUTDOOR UNIT	NOMINAL COOLING (MBH)*	NOMINAL HEATING (MBH)*	CORRECTED COOLING (MBH)**	CORRECTED HEATING (MBH)**	MAX AIRFLOW (CFM)	COND. DRAIN (IN)	REFRIGERANT PIPING		SOUND RATING (DB)	WEIGHT (LBS)	ELECTRICAL REQUIREMENTS				BASIS OF DESIGN: MITSUBISHI		
								LIQUID (IN)	GAS (IN)			MCA	MOCP	V/PH/Hz	POWERED FROM OUTDOOR UNIT	SERVICE	ARRANGEMENT	MODEL
LEV-1	SCU-1	48.0	48.0	47.4	24.6	--	--	3/8	5/8	--	25	0.06	15	208/1/60	NO	ERV-1	--	PAC-LV48AC-1
LEV-2		48.0	48.0	47.4	24.6	--	--	3/8	5/8	--	25	0.06	15	208/1/60	NO	ERV-2	--	PAC-LV48AC-1

- * NOMINAL HEATING AND COOLING AT AHRI CONDITIONS OF 80°F DB / 67°F WB (INDOOR) AND 95°F OUTDOOR FOR COOLING AND 70°F DB / 60°F WB (INDOOR AND 47°F OUTDOOR FOR HEATING
 ** CORRECTED COOLING AS PART OF THE SPECIFIC COMPLETE SYSTEM INCLUDING LINE LENGTHS AND AT OUTDOOR CONDITIONS OF 95°F DB AND INDOOR CONDITIONS OF 80°F DB / 67°F WB
 *** CORRECTED HEATING AS PART OF THE SPECIFIC COMPLETE SYSTEM INCLUDING LINE LENGTHS AND WITH A 5% DEFROST AND AT OUTDOOR CONDITIONS OF -13.0°F DB AND INDOOR CONDITIONS OF 70°F DB
 PROVIDE WITH CONTROLS FOR DISCHARGE CONTROL OF REFRIGERANT

CONTROL VALVE SCHEDULE

TAG	FLOW RATE (GPM)	Cv	VALVE SIZE (IN.)	TYPE	SERVICE
V-1	2.0	2.0	1/2"	3-WAY, MIXING	HC-1, HC-2
V-2	1.0	1.3	1/2"	2-WAY, 2-POSITION	FTR-1

NOTES:

BFP PERFORMANCE SCHEDULE

TAG	SIZE	FLOW RATE (GPM)	W.P.D. (PSI)	MAX. WORK'G TEMPERATURE (DEGREES F)	MAX. WORK'G PRESSURE (PSI)	TESTABLE (Y) OR (N)	BASIS OF DESIGN: WATTS		
							BODY STYLE	SERVICE	MODEL
BFP-1	2"	80	10.0	145	175	Y	RPZ	WATER ENTRANCE	LF909
BFP-2	2"	80	10.0	145	175	Y	RPZ	WATER ENTRANCE	LF909

HEATING COIL PERFORMANCE SCHEDULE

TAG	OUTPUT (MBH)	COIL DIMENSIONS (FINNED)		FLOW RATE (GPM)	W.P.D. (FT. HD.)	WATER VELOCITY (FPS)	ENTERING WATER TEMP (°F)	LEAVING WATER TEMP (°F)	ROWS	TURBS (Y/N)	AIRFLOW RATE (CFM)	A.P.D. (IN.WG.)	E.A.T (°F)	L.A.T. (°F)	VELOCITY (FPM)	FINS PER FOOT	BASIS OF DESIGN: TRANE		
		W	H														VALVE	SERVICE	MODEL
HC-1	32.5	18"	18"	2.0	0.43	1.11	180.0	147.5	1	N	1000	0.06	45.0	75.0	444	92	V-1	ERV-1	TT
HC-2	30.9	18"	18"	2.0	0.43	1.11	180.0	149.1	1	N	950	0.06	45.0	75.0	422	91	V-1	ERV-2	TT

FAN PERFORMANCE SCHEDULE

TAG	AIRFLOW (CFM)	T.S.P. (IN.WG.)	NOISE (SONES)	RPM	DRIVE	ELECTRICAL REQUIREMENTS				BASIS OF DESIGN: PANASONIC		
						HP	BHP	WATTS	AMPS	V/PH/Hz	SERVICE	MODEL
EF-1	100	0.10	0.3	-	DIRECT	0.1	0.08	-	-	120/1/60	MULTIPLE	FV-0511VK2

PUMP PERFORMANCE SCHEDULE

TAG	FLOW RATE (GPM)	HEAD (FT.WG)	RPM	ELECTRICAL REQUIREMENTS			BASIS OF DESIGN: TACO		
				HP	AMPS	V/PH/Hz	SEVICE	ARRANGEMENT	MODEL
CP-1	4.0	15.0	3250	1/8	1.4	115/1/60	DOM HW RECIRC	CARTRIDGE	009

1. CP-1 SHALL BE STAINLESS STEEL CONSTRUCTION

THERMOSTATIC MIXING VALVE PERFORMANCE SCHEDULE

TAG	FLOW RATE (GPM)	INLET CONNECTION (INCHES)	OUTLET CONNECTION (INCHES)	W.P.D. (PSIG)	SETPPOINT (DEG F)	PROVIDE SPARE CARTRIDGE (Y) OR (N)	BASIS OF DESIGN: HONEYWELL	
							ARRANGMENT	MODEL
TMV-1	32.0	1-1/2"	1-1/2"	5.0	115	-	WALL	MX129LF

FINITUBE PERFORMANCE SCHEDULE

TAG	OUTPUT (BTU/FT)	FLOW RATE (GPM)	MOUNTING HEIGHT (IN)	ENCLOSURE HEIGHT (IN)	ELEMENT LENGTH (FT.)	ENCLOSURE LENGTH (FT)	HEATING PERFORMANCE BASED ON 180°F ENTERING WATER TEMP. & 65°F ENTERING AIR TEMPERATURE				
							BASIS OF DESIGN: STERLING				
							TUBE SIZE (IN)	FINS/FOOT	NO. OF TIERS	VALVE TAG	MODEL
FTR-1	655	1.0	2" AFF	8"	*	**	3/4"	50	1	V-2	JVK-S8

- * - ELEMENT LENGTH SHALL BE AS REQUIRED TO MEET LOAD INDICATED ON DRAWINGS.
 ** - ENCLOSURE LENGTH SHALL BE ELEMENT LENGTH PLUS 12" OR WALL TO WALL.



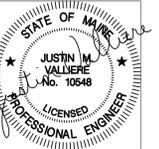
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Mallet Hall Renovation

HIGH STREET - FARMINGTON - ME - 04938

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09/15/2023

TITLE
MECHANICAL LEGEND, SCHEDULES AND DETAILS

SHEET

M402

MALLET HALL

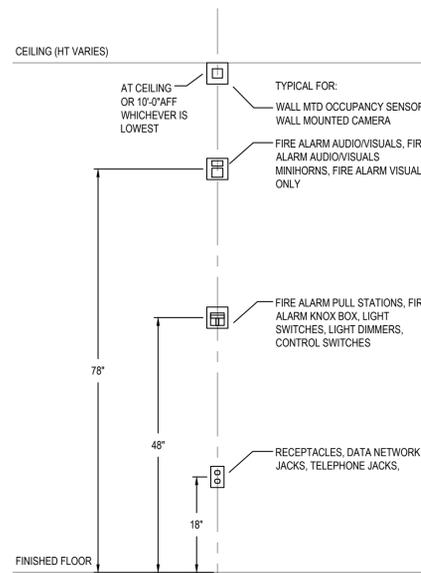
AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH

GENERAL NOTES

- NOT ALL SYMBOLS INDICATED IN THE LEGEND APPEAR ON THE DRAWINGS. COORDINATE WORK ACCORDINGLY. COMPLY WITH SPECIFICATIONS AND NOTES BELOW AS APPLICABLE.
- ALL RECEPTACLES SHALL BE INSTALLED 18" AFF TO CENTERLINE OF BOX UNLESS NOTED OTHERWISE.
- MOUNT PANELS IN RESIDENTIAL SPACES SO NO CIRCUIT BREAKER HANDLE IS HIGHER THAN 44" AFF.
- ALL WIRING SHALL BE COPPER UNLESS DESIGNATED AS "AL". UNLESS OTHERWISE NOTED ALL WIRING SHALL BE 2 #12 AWG AND 1 #12 EQUIPMENT GROUNDING CONDUCTOR. HOMERUNS FED FROM A 20A/1P, 120V CIRCUIT IN EXCESS OF 70' SHALL BE #10 AWG.
- CONNECT BATTERY BACKED EMERGENCY AND EXIT LIGHTING TO NEAREST LIGHTING CIRCUIT AHEAD OF ANY SWITCHING. CONNECT REMOTE HEADS WITH #10 AWG COPPER CONDUCTORS. AC EXIT FIXTURES SHALL BE CONNECTED TO NEAREST EMERGENCY CIRCUIT OR AS INDICATED.
- TEST ALL EMERGENCY LIGHTING UNITS FOR PROPER OPERATION OF LAMPS AND BATTERIES.
- SEE MECHANICAL PLAN FOR HVAC UNITS, PUMPS AND FANS CONTROLLED BY THERMOSTATS (PROVIDED BY ATC CONTRACTOR).
- FUSES AND OVERLOAD UNITS FOR MOTORS SHALL BE SIZED BASED ON ACTUAL MOTOR NAMEPLATE DATA AND IN ACCORDANCE WITH NEC. CIRCUIT BREAKERS FOR MOTORS ARE SUPPLIED AT MAX VALUE PER NEC (2.5 x FLA). SIZE IN THE FIELD IN ACCORDANCE WITH MFGOR RECOMMENDATION.
- ALL WORK SHALL COMPLY WITH NFPA70, NFPA72, NFPA101 & ALL FEDERAL, STATE & LOCAL REGULATIONS.
- ALL PENETRATIONS THROUGH FLOORS, RATED WALLS AND PARTITIONS SHALL BE SEALED WITH UL APPROVED FIRE SEALANT MATERIAL TO MAINTAIN FIRE RATING FOR THE SEPARATION.
- ALL ENCLOSURES, CONDUIT BODIES AND THEIR COVERS CONTAINING FIRE ALARM SYSTEM CONDUCTORS SHALL BE PAINTED RED.
- AN EQUIPMENT GROUNDING CONDUCTOR SHALL BE INSTALLED WITH ALL FEEDERS AND BRANCH CIRCUITS. SIZE IN ACCORDANCE WITH NFPA 70 ARTICLE 250.
- COORDINATE INSTALLATION OF VOICE/DATA OUTLETS WITH OWNER, MIS OR COMMUNICATIONS CONTRACTOR.
- LOCATE DISCONNECTS AT EQUIPMENT AS REQUIRED BY MANUFACTURER. LOCATIONS ON DRAWINGS ARE APPROXIMATE.
- PROVIDE RISER OR PLENUM RATED CABLES ABOVE SUSPENDED CEILING.
- THE CONTRACTOR SHALL SET ALL ELECTRONIC BREAKERS TO SPECIFIED TRIP SETTINGS BEFORE ENERGIZING EQUIPMENT.
- PROVIDE EXPANSION FITTINGS FOR ALL UNDERGROUND RACEWAYS ENTERING ENCLOSURES ATTACHED TO FIXED STRUCTURES.
- OUTDOOR RECEPTACLE COVERS SHALL COMPLY WITH NFPA 70 - ARTICLE 406.9.
- ALL CONDUCTOR INSULATION FOR BUILDING WIRE SHALL BE THWN/THHN UNLESS NOTED OTHERWISE.
- PROVIDE LABEL ON SERVICE EQUIPMENT INDICATING AVAILABLE SHORT CIRCUIT CURRENT OBTAIN VALUES FROM ENGINEER.
- PROVIDE ARC FAULT LABELS PER NFPA 70-ARTICLE 110.24
- OUTLETS INSTALLED IN FIRE RATED WALLS BACK TO BACK SHALL BE SEPARATED BY 24" MINIMUM OR BE PROTECTED WITH "PUTTY PADS" PER 2009 INTERNATIONAL BUILDING CODE SECTION 713.3.2.
- PROVIDE AIR VAPOR BARRIER BOXES FOR WIRING DEVICES IN EXTERIOR WALLS AND INTERIOR SOUND CONTROL WALLS BETWEEN RESIDENT ROOMS. INSTALL PER MANUFACTURER'S INSTRUCTIONS. PROVIDE LESSCO MODEL NUMBER: VAPORBOX.
- MINIMUM WIRE SIZE ON ALL BRANCH CIRCUITS SHALL BE #12.
- ANY CABLES RUN OUTSIDE OF THE DEMISING WALL MUST BE IN TAMPER PROOF CONDUIT.



- NOTES:
- DEVICES SHALL BE MOUNTED AT ELEVATIONS INDICATED ABOVE UNLESS SPECIFICALLY NOTED OTHERWISE ON PLANS, IN SYMBOLS SCHEDULE OR DIRECTED BY ARCHITECT.
 - WIRING DEVICES (DATA NETWORK JACKS, RECEPTACLES, ETC.) SHOWN SIDE BY SIDE ELECTRICAL PLANS SHALL BE MOUNTED IN A SINGLE BOX AND FACEPLATE.
 - LIGHTING SWITCHES AND DIMMERS SHOWN SIDE BY SIDE ON ELECTRICAL PLANS SHALL BE MOUNTED IN A SINGLE BOX AND FACEPLATE.
 - LOCATIONS OF ELECTRICAL DEVICES AND LIGHTING SWITCHES/DIMMERS ARE SHOWN SCHEMATICALLY ON ELECTRICAL PLANS. ALIGN DEVICES SHOWN ADJACENT TO ONE ANOTHER ON ELECTRICAL PLANS VERTICALLY AS SHOWN ABOVE.
 - MOUNTING HEIGHTS INDICATED ARE TO CENTERLINE OF DEVICE.

1 E0.0 SCALE: NONE

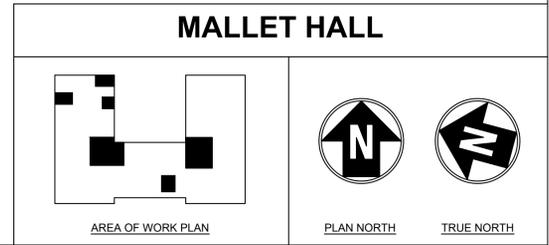
ABBREVIATIONS

A	AMP	LP	LIGHTING PANELBOARD
AC	ALTERNATING CURRENT, ABOVE COUNTER	LTG	LIGHTING
ADA	AMERICANS WITH DISABILITIES ACT	LSIG	LONG TIME, SHORT TIME, INSTANTANEOUS, GROUND FAULT CIRCUIT BREAKER TRIP FUNCTIONS AS INDICATED
AF	AMP FRAME	MCC	MOTOR CONTROL CENTER
AFCI	ARC FAULT CIRCUIT INTERRUPTER	MCCB	MOLDED CASE CIRCUIT BREAKER
AFF	ABOVE FINISHED FLOOR	MCB	MAIN CIRCUIT BREAKER
AFG	ABOVE FINISHED GRADE	MDP	MAIN DISTRIBUTION PANEL
AIC	AMPERES INTERRUPTING CAPACITY	MH	MANHOLE
AL	ALUMINUM	MLO	MAIN LUGS ONLY
AT	AMP TRIP	MTS	MANUAL TRANSFER SWITCH
ATC	AUTOMATIC TEMPERATURE CONTROL	NC	NORMALLY CLOSED OF NURSE CALL
ATS	AUTOMATIC TRANSFER SWITCH	NEC	NATIONAL ELECTRICAL CODE
AWG	AMERICAN WIRE GAUGE	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
BLDG	BUILDING	NL	NIGHT LIGHT
C	CONDUIT	NO	NORMALLY OPEN
CB	CIRCUIT BREAKER	NO.	NUMBER
CI	CAST IRON	OL	OVERLOAD
CKT	CIRCUIT	P	POLE
CL	CENTERLINE	PA	PUBLIC ADDRESS
CMP	CENTRAL MAINE POWER (ELECTRIC UTILITY)	PB	PUSH BUTTON
CMU	CONCRETE MASONRY UNIT	PF	POWER FACTOR
CT	CURRENT TRANSFORMER	PH	PHASE
CONC	CONCRETE	PNL	PANEL
CS	CARBON STEEL	TP1-2	TELE/POWER POLE - POLE & CIRCUIT NUMBER AS INDICATED
CU	COPPER	PSNH	PUBLIC SERVICE OF NEW HAMPSHIRE (ELECTRIC UTILITY)
CUH	CABINET UNIT HEATER	PT	POTENTIAL TRANSFORMER
DL	DAMP LOCATION	PVC	POLYVINYL CHLORIDE
EC	ELECTRICAL CONTRACTOR	RL	ELECTRICAL EQUIPMENT TO BE RELOCATED
EF	EXHAUST FAN	RM	ELECTRICAL EQUIPMENT TO REMAIN
ER	EXISTING REMAINS IN PLACE	RSC	RIGID STEEL CONDUIT
ERL	EXISTING RELOCATE	RTU	ROOF TOP UNIT
ERM	EXISTING REMOVE	RV	ELECTRICAL EQUIPMENT TO REMOVE
EUH	ELECTRIC UNIT HEATER	RVNR	REDUCED VOLTAGE, NON-REVERSING
EWC	ELECTRICAL WATER COOLER	SB	SMART BOARD
FACP	FIRE ALARM CONTROL PANEL	SF	SUPPLY FAN
FAPS	FIRE ALARM PULL STATION	SLD	SINGLE LINE DIAGRAM
FRP	FIBER REINFORCED PLASTIC	SM	MANUAL MOTOR STARTER SWITCH WITH THERMAL OVERLOAD DEVICE, MOUNTED AT UNIT
FVNR	FULL VOLTAGE, NON-REVERSING FURNISHED WITH UNIT	SS	SOLID STATE
FWU	FURNISHED WITH UNIT	SWBD-1	SWITCHBOARD NUMBER AS DESIGNATED
DC	DIRECT CURRENT	TC	TIME CLOCK
GFI	GROUND FAULT INTERRUPTER	TS	TRANSFER SWITCH
GND	GROUND	T&B	TOP AND BOTTOM
HID	HIGH INTENSITY DISCHARGE	TYP	TYPICAL
HOA	HAND-OFF-AUTOMATIC	UG	UNDERGROUND
HP	HORSEPOWER	V	VOLT
HPS	HIGH PRESSURE SODIUM	VA	VOLT-AMPERE
HZ	HERTZ	VFD	VARIABLE FREQUENCY DRIVE
ICB	INSULATED CASE CIRCUIT BREAKER	W	WATT
JB	JUNCTION BOX	W/	WITH
KAIC	THOUSAND AMP INTERRUPTING CAPACITY	WP	WEATHERPROOF
KCMIL	THOUSAND CIRCULAR MIL	XFMR	TRANSFORMER
KV	THOUSAND VOLTS	XP	EXPLOSION PROOF
KVA	THOUSAND VOLT-AMPS	3PH	THREE PHASE
LC	LIGHTING CONTACTORS	4W	FOUR WIRE
LCP	LATERAL CONTROL PIT	3W	THREE WIRE
LED	LIGHT EMITTING DIODE		

SYMBOL LEGEND

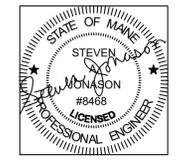
- SURFACE MOUNTED POWER PANEL, SEE PANEL SCHEDULES FOR RATING
- RECESSED MOUNTED POWER PANEL, SEE PANEL SCHEDULES FOR RATING
- ELECTRIC MOTOR DRIVEN EQUIPMENT, HP SHOWN
- JUNCTION BOX, "H" DENOTES RANGE HOOD, "DS" DENOTES DISPOSAL, "DW" DENOTES DISHWASHER
- MANUAL MOTOR STARTER SWITCH WITH THERMAL OVERLOAD DEVICE MOUNTED AT UNIT
- DISCONNECT SWITCH, SIZE AND NUMBER OF POLES AS INDICATED ON DRAWING, PROVIDED BY EC UNLESS NOTED OTHERWISE. PROVIDE FUSES WHERE RECOMMENDED BY MANUFACTURER.
- COMBINATION MOTOR STARTER/ DISCONNECT SWITCH WITH AUXILIARY CONTACTS AND HAND-OFF-AUTO SWITCH AND RED RUN LIGHT. PROVIDED AND INSTALLED BY EC UNLESS NOTED OTHERWISE.
- VARIABLE FREQUENCY DRIVE, PROVIDED BY MC, INSTALLED AND WIRED BY EC
- MOTOR OPERATED DAMPER, PROVIDED AND INSTALLED BY MC, WIRED BY EC
- DUPLEX RECEPTACLE, 20A, 125V SPEC GRADE GROUNDING TYPE, TAMPER PROOF AND MATCHING PLATE. MOUNT 18" AFF UNLESS NOTED OTHERWISE.
- SIMPLEX RECEPTACLE, 20A, 125V SPEC GRADE GROUNDING TYPE, TAMPER PROOF AND MATCHING PLATE. MOUNT 18" AFF UNLESS NOTED OTHERWISE.
- QUAD RECEPTACLE, 20A, 125V SPEC GRADE GROUNDING TYPE, TAMPER PROOF AND MATCHING PLATE. MOUNT 18" AFF UNLESS NOTED OTHERWISE.
- DUPLEX RECEPTACLE, 20A, 125V SPEC GRADE GROUNDING TYPE, TAMPER PROOF AND MATCHING PLATE. MOUNT 18" AFF, BOTTOM RECEPTACLE SWITCHED.
- GROUND FAULT DUPLEX RECEPTACLE 20A, 125V, TAMPER PROOF WITH MATCHING PLATE FURNISHED W/ OUTLET. FLUSH MOUNTED 45" AFF EXCEPT AS NOTED. "NL" DENOTES NIGHT LIGHT
- REFRIGERATOR DUPLEX RECEPTACLE, 20A, 125V SPEC GRADE GROUNDING TYPE, TAMPER PROOF AND MATCHING PLATE. MOUNT RECEPTACLE AT 48 INCHES ABOVE FINISHED FLOOR.
- FLUSH FLOOR MOUNTED DUPLEX RECEPTACLE- 20A, 125V SPEC GRADE GROUNDING TYPE. "CL" DENOTES CEILING MOUNTED
- RANGE OUTLET 50 AMP, 250 VOLT, GROUNDING TYPE FLUSH MOUNTED 18" AFF
- DRYER OUTLET 30 AMP, 250 VOLT, GROUNDING TYPE FLUSH MOUNTED 18" AFF
- RACEWAY & WIRING OR MC CABLE RUN CONCEALED IN WALLS/CEILINGS
- RACEWAY & WIRING RUN EXPOSED
- RACEWAY & WIRING RUN CONCEALED UNDER FLOOR OR BURIED 30" BELOW FINISH GRADE
- HOME RUN TO PANEL, WITH PANEL AND CIRCUIT NUMBER
- HDMI OUTLET LOCATION, CABLE AND JACKS BY EC
- CABLE TV JUNCTION BOX "CTV", SIZE AS REQUIRED BY CABLE UTILITY
- TV OUTLET LOCATION, CABLE AND JACKS BY EC
- TELEPHONE/DATA DUAL JACK, MOUNT 18" AFF, RUN TWO CAT 5E CABLES BACK TO TBB
- DATA JACK, RUN TWO CAT 5E CABLES BACK TO TBB.
- SIMPLEX DATA JACK, RUN CAT 5E CABLE BACK TO TBB.
- FLUSH FLOOR MOUNTED TELEPHONE/DATA DUAL JACK, RUN TWO CAT 5E CABLES BACK TO TBB. "CL" DENOTES CEILING MOUNTED
- TELEPHONE JACK, MOUNT 18" AFF UNLESS NOTED OTHERWISE, RUN ONE CAT 5E CABLE BACK TO TBB.
- TELEPHONE BACK BOARD
- WIFI ROUTER, OCE CAT 5E CABLE BACK TO TBB OR IT ROOM. MOUNT ABOVE CEILING, "W" DENOTES WALL MOUNTED AT 72" AFF
- TEMPERATURE CONTROL PANEL, PROVIDED BY MC WIRED BY EC
- PUSHBUTTON FOR ELECTRICALLY OPERATED DOOR, FURN W/ DOOR OPERATOR, WIRED BY EC
- DOOR PUSHBUTTON-DOORBELL
- DOOR ELECTRIC STRIKE
- DOOR CHIME WITH STROBE-ADA COMMUNICATIONS REQUIREMENT
- HANDICAP DOOR OPERATOR
- LIGHTING FIXTURES, CAPITAL LETTERS DENOTE TYPE PER LIGHTING FIXTURE SCHEDULE. LOWER CASE LETTERS INDICATE SWITCH CONTROL. "ob" INDICATES INBOARD LAMPS CONTROLLED BY OUTBOARD SWITCHED "a" AND "b". DIAGONAL INDICATED NIGHT LIGHT (UNSWITCHED)
- SELF CONTAINED EMERGENCY LIGHT W/2 HEADS DUAL-LITE (LED) MODEL LZ651-03L, 65 WATTS FOR 90 MINUTES, COLOR BY ARCHITECT
- EMERGENCY LIGHTING BATTERY PACK DUAL-LITE No LM130-12VI-0 SELF-DIAGNOSTIC
- INTERIOR REMOTE HEAD DUAL-LITE (LED) MODEL No CPRD 1203L, COLOR BY ARCHITECT
- EXTERIOR REMOTE HEAD DUAL-LITE (LED) MODEL No OCRD 1203L COLOR BY ARCHITECT
- EXIT LIGHT FIXTURE, UNSWITCHED, DUAL-LITE LX-U-R-W-E OR APPROVED EQUAL

- SECURITY CAMERA LOCATION, COORDINATE AND PROVIDE DUPLEX RECEPTACLE, DATA AND CONDUIT PER MANUFACTURERS RECOMMENDATIONS
- CEILING MOUNTED MOTION SENSOR (WATTSTOPPER OR EQUAL) CORRIDORS: WT-2255 SENSOR & B120E-P POWER PACK. OTHER COMMON SPACES: WT-605 SENSOR & B120E-P POWER PACK. SENSORS AND RELAYS TO CONTROL CIRCUITS IN SPACES INDICATED. DEVICES SHALL PROVIDE FULL COVERAGE IN AREAS INSTALLED. DT INDICATES DUAL TECHNOLOGY PIR INDICATED PASSIVE INFRARED TECHNOLOGY
- WALL MOUNTED MOTION SENSOR. MOUNT AT 120" AFF UNLESS OTHER WISE NOTED
- WALL MOUNTED SWITCH MOTION SENSOR. MOUNT AT 48" AFF UNLESS OTHER WISE NOTED
- SINGLE POLE SWITCH, 120V, 20A, SPEC GRADE, GROUNDING TYPE, MOUNT 48" AFF. 3-3-WAY, 4-4-WAY, LOWER CASE LETTER INDICATES FIXTURE OR CONTROLLED LOAD.
- SWITCH WITH PILOT LIGHT, SWITCH SHALL BE PROVIDED W/ ENGRAVED NAMEPLATE IDENTIFYING USE
- REMOTE RANGE HOOD FAN SWITCH, CONNECT TO HOOD FAN THRU HOOD JUNCTION BOX.
- REMOTE RANGE HOOD LIGHT SWITCH, CONNECT TO HOOD LIGHT THRU JUNCTION BOX.
- BURNER SAFETY SWITCH, PROVIDE WITH RED PLATE, MOUNTED 72" AFF
- SINGLE POLE DIMMER SWITCH, 120V, 20A, SPEC GRADE, GROUNDING TYPE, MOUNT 48" AFF, 3-3-WAY, 4-4-WAY, LOWER CASE LETTER INDICATES FIXTURE OR CONTROLLED LOAD.
- PHOTOCELL
- LIGHTING CONTACTOR
- TIMECLOCK
- INTERCOM PANEL IN UNIT
- INTERCOM PANEL AT RECEPTION
- FIRE ALARM CONTROL PANEL
- FIRE ALARM REMOTE POWER SUPPLY
- FIRE ALARM ANNUNCIATOR PANEL
- FIRE EXTINGUISHER ELECTRONIC MONITOR-SHALL BE ACCOMPLISHED THROUGH USE OF AN ADDRESSABLE INTERFACE DEVICE AND SHALL PROVIDE INPUT TO THE FACP
- FIRE ALARM AUDIO/VISUAL, MOUNT 6'-8" AFF. NUMBER DENOTES CANDELA RATING. "MH" DENOTES MINIHORN, "CL" DENOTES CEILING MOUNTED. NO DESIGNATION EQUALS 15cd
- FIRE ALARM PULL STATION, MOUNT 48" AFF
- FIRE ALARM VISUAL STROBE ONLY, FLUSH MOUNT 6'-8" AFF, NUMBER DENOTES CANDELA RATINGS. "CL" DENOTES CEILING MOUNTED
- SYSTEM CONNECTED SMOKE / CARBON MONOXIDE DETECTOR, PHOTOELECTRIC TYPE
- SYSTEM CONNECTED FIXED TEMPERATURE HEAT DETECTOR
- SMOKE DETECTOR, PHOTOELECTRIC TYPE, SYSTEM CONNECTED.
- SMOKE DETECTOR, PHOTOELECTRIC TYPE, SYSTEM CONNECTED. "ER" DENOTES ELEV RECALL
- SYSTEM CONNECTED SMOKE DETECTOR, PHOTOELECTRIC TYPE, WITH SOUNDER BASE
- CARBON MONOXIDE DETECTOR
- DUCT SMOKE DETECTOR & TEST STATION
- FIRE ALARM KNOX BOX
- FIRE/SMOKE DAMPER, SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR. ELECTRICAL CONTRACTOR TO PROVIDE ALL WIRING CONNECTIONS AND FIRE ALARM DUCT SMOKE DETECTORS, ADDRESSABLE MODULES AND PROGRAMMING.
- SPRINKLER SYSTEM FLOW SWITCH } SUPPLIED BY SPRINKLER CONTRACTOR
- SPRINKLER SYSTEM TAMPER SWITCH } SPRINKLER CONTRACTOR
- MAGNETIC DOOR HOLD
- NURSE CALL BASE STATION
- NURSE CALL PULL STATION
- NURSE CALL ANNUNCIATOR LIGHT
- WP DENOTES WEATHERPROOF CONSTRUCTION
- RP DENOTES EXISTING ELECTRICAL EQUIPMENT TO BE REPLACED
- RM DENOTES EXISTING ELECTRICAL EQUIPMENT TO REMAIN
- RL DENOTES EXISTING ELECTRICAL EQUIPMENT TO BE RELOCATED
- RV DENOTES EXISTING ELECTRICAL EQUIPMENT TO BE REMOVED



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 HIGH STREET - FARMINGTON - ME - 04938



JOB NO. 082184

ISSUED FOR BID AND PERMIT

ISSUE 09/15/2023

TITLE ELECTRICAL LEGEND AND GENERAL NOTES

SHEET E000

REV #	REVISION	DATE

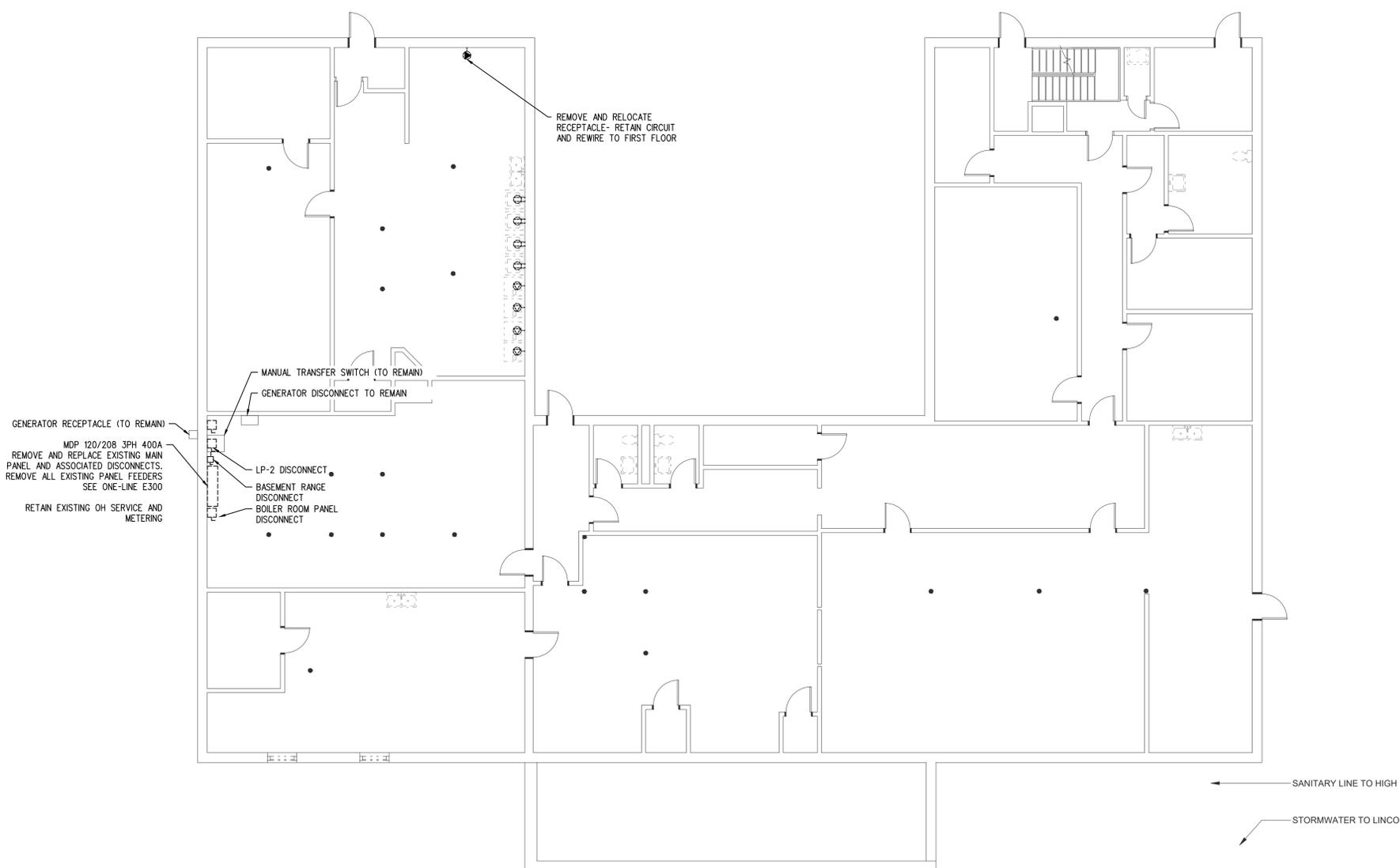
JOB NO.
082184

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ISSUE
09/15/2023

TITLE
BASEMENT
ELECTRICAL
DEMOLITION PLAN

SHEET
ED101



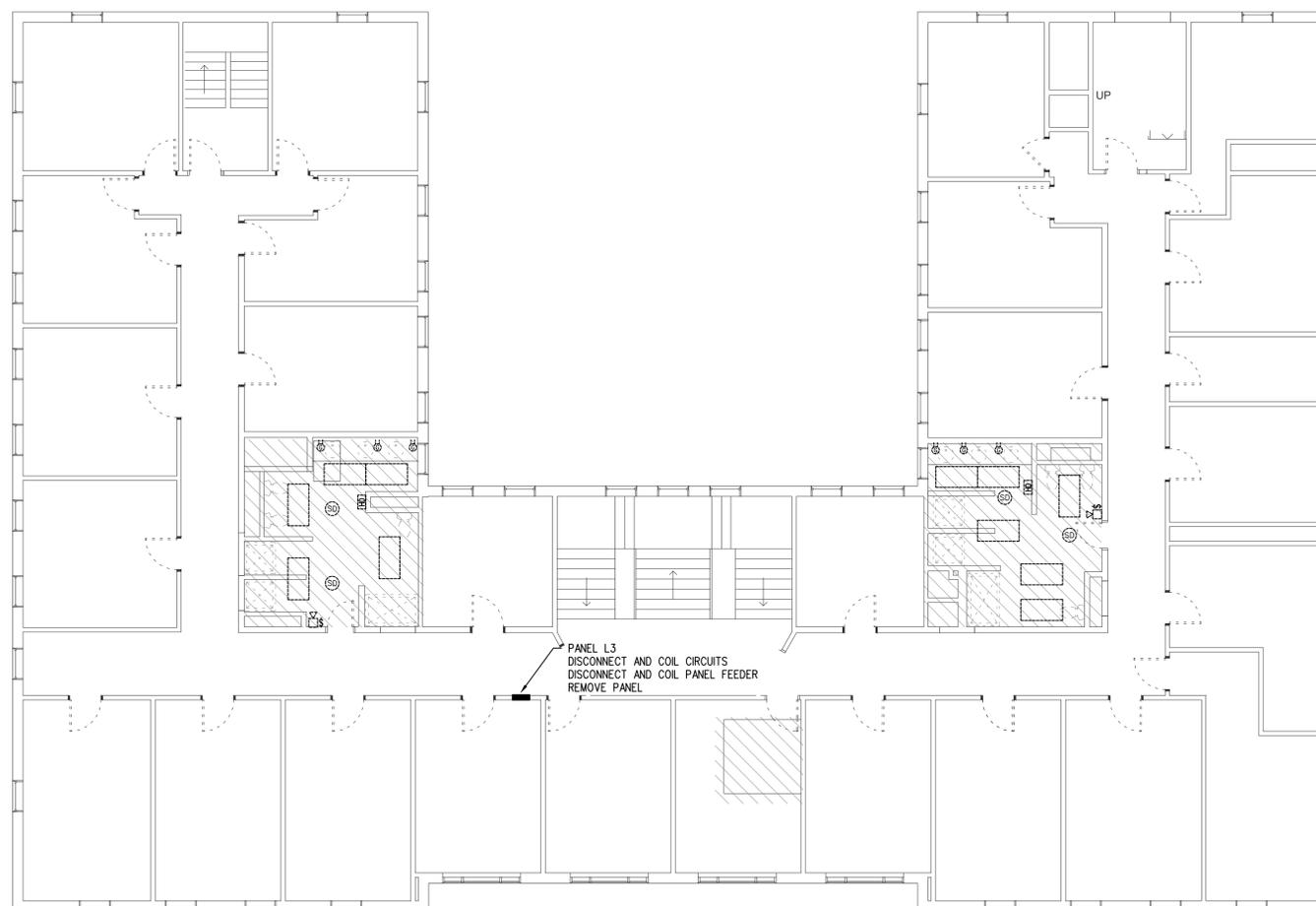
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ED100
BASEMENT DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

MALLET HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH



1 FIRST FLOOR DEMOLITION PLAN
ED101 SCALE: 1/4" = 1'-0"

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09/15/2023

TITLE
FIRST FLOOR
ELECTRICAL
DEMOLITION PLAN

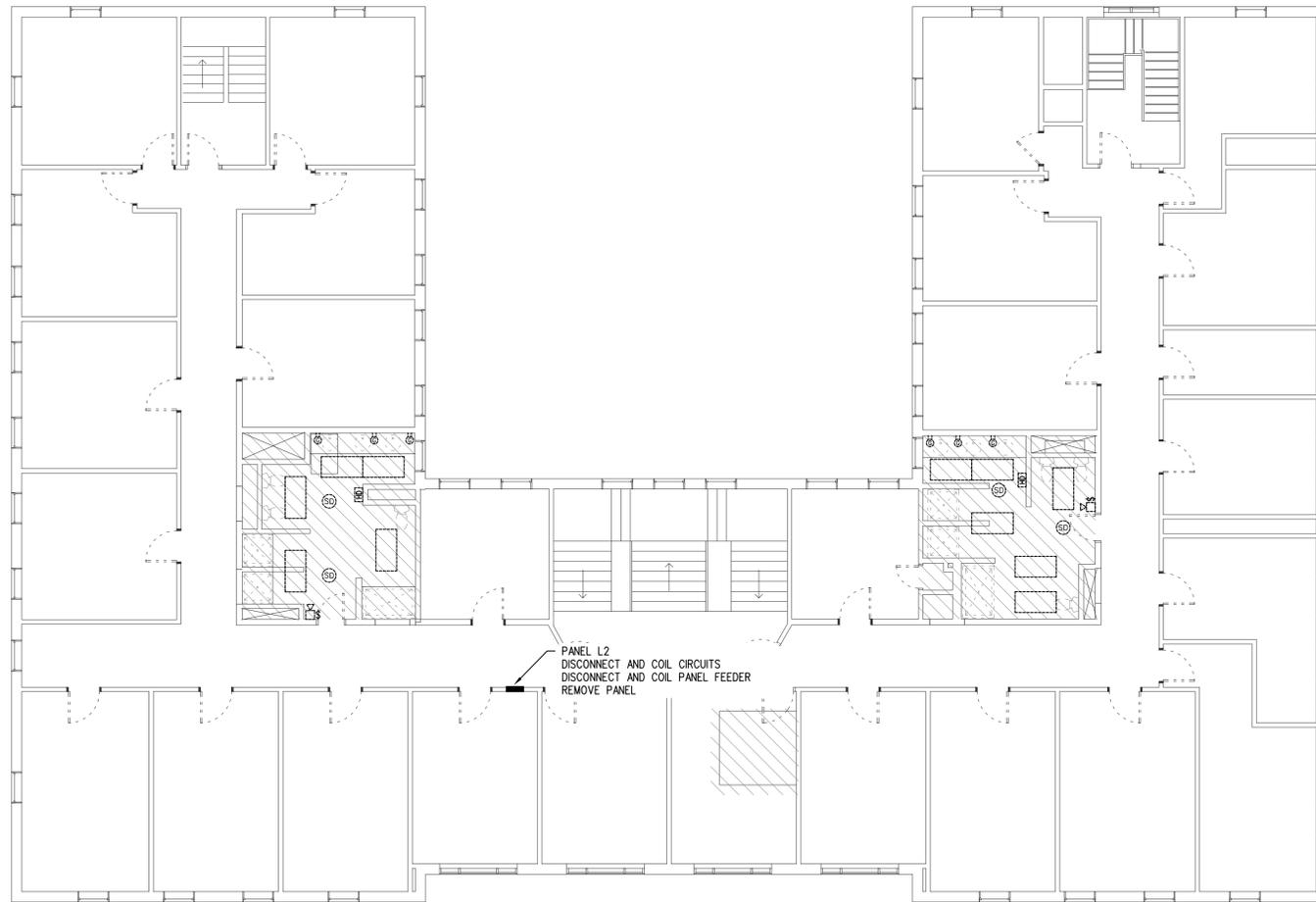
SHEET
ED101

MALLET HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH



1
ED102

SECOND FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

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TITLE
SECOND FLOOR
ELECTRICAL
DEMOLITION PLAN

SHEET
ED102

MALLET HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH

5

4

3

2

1



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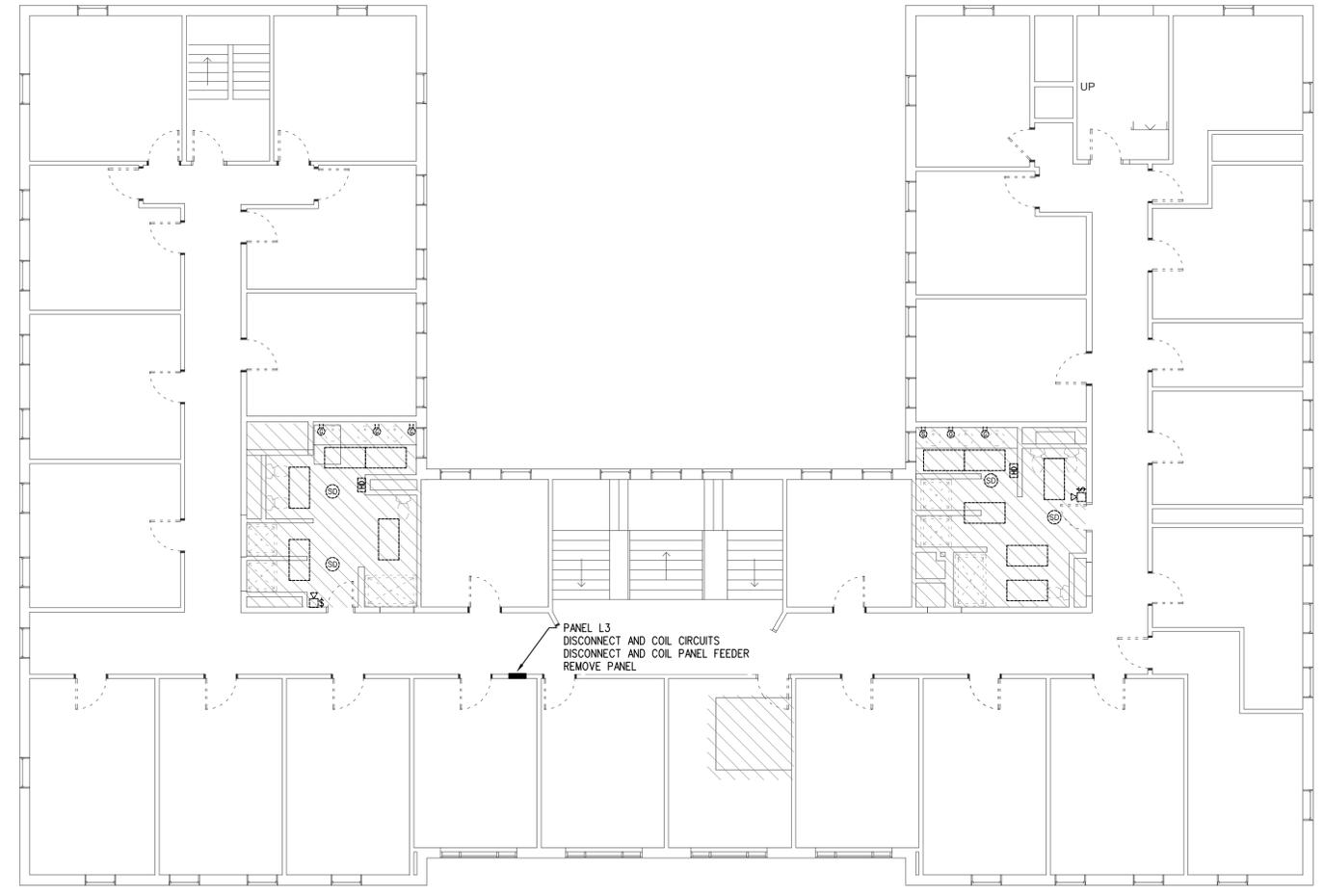
JOB NO.
082184

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TITLE
THIRD FLOOR
ELECTRICAL
DEMOLITION PLAN

SHEET
ED103



1
ED103
THIRD FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

MALLET HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH

D

C

B

A

5

4

3

2

1

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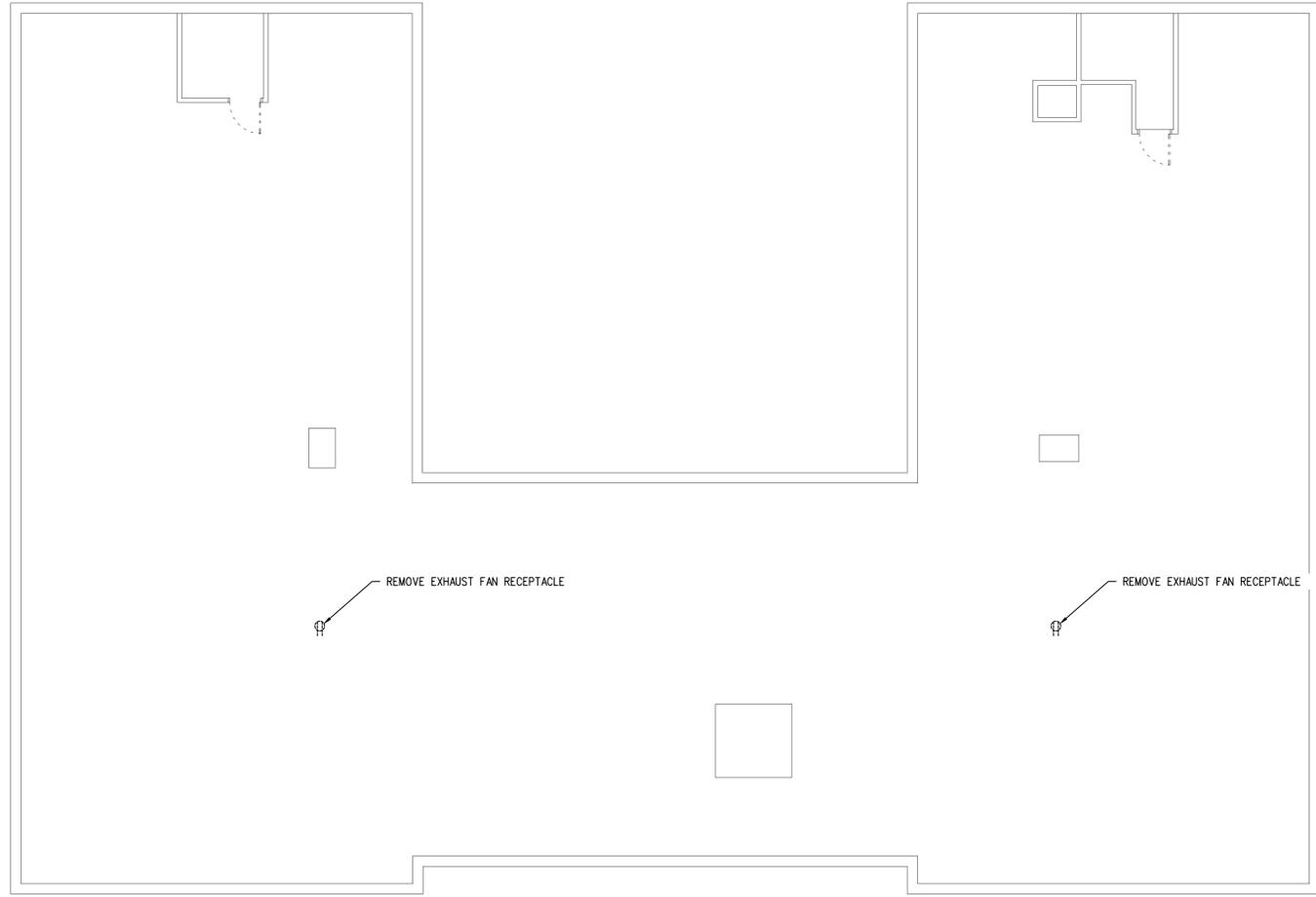
JOB NO.
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09/15/2023

TITLE
ATTIC
ELECTRICAL
DEMOLITION PLAN

SHEET
ED104



1 ATTIC DEMOLITION PLAN
ED104 SCALE: 1/8" = 1'-0"

MALLET HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH

5

4

3

2

1

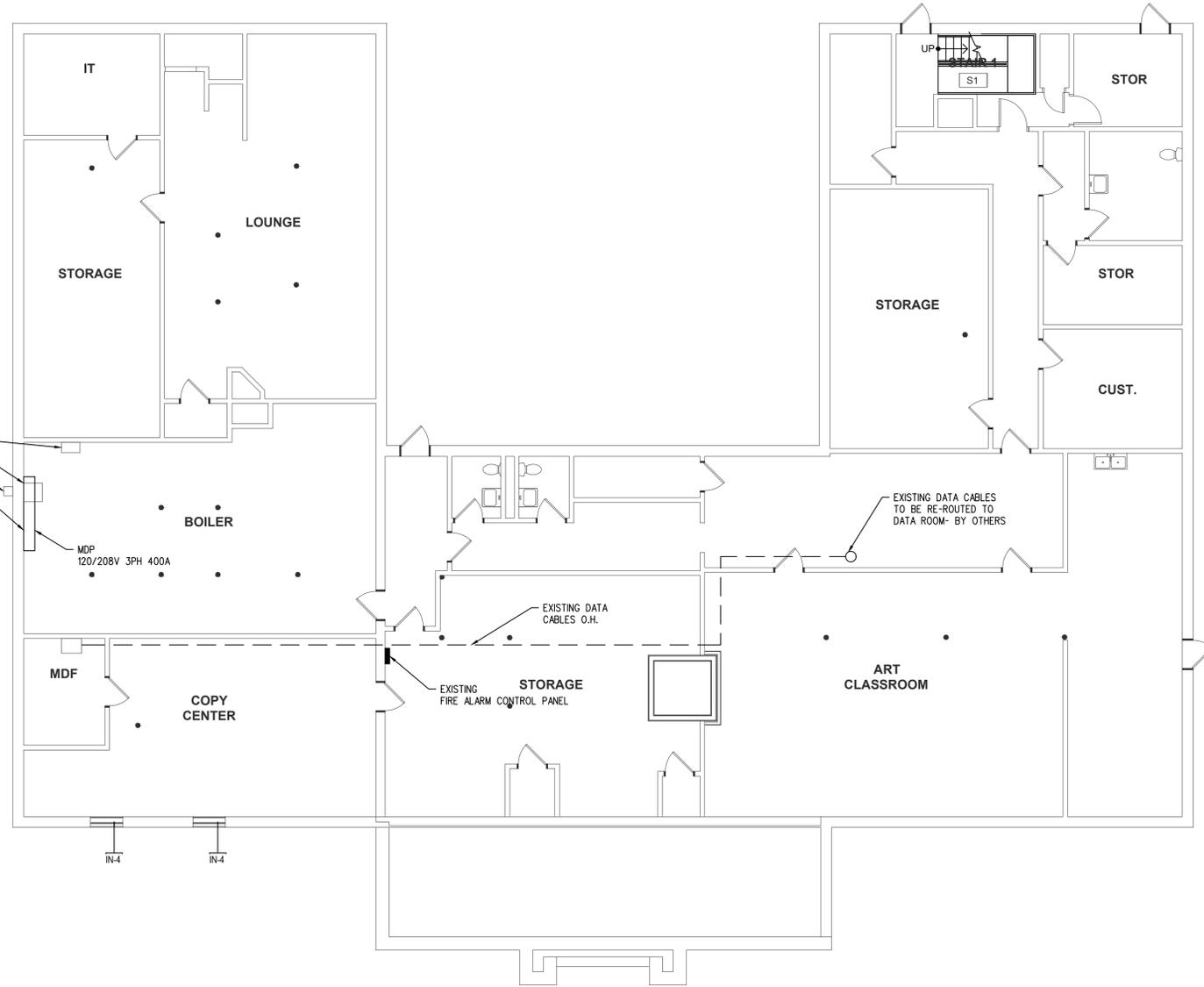
D

C

B

A

GENERATOR DISCONNECT TO REMAIN
 MANUAL TRANSFER SWITCH (TO REMAIN)
 GENERATOR RECEPTACLE (TO REMAIN)
 DISCONNECT AND COIL PANEL FEEDERS
 FROM EXISTING MDP PANEL VIA JUNCTION
 BOX IN CEILING
 REWIRE TO NEW MDP SAME LOCATION



1
E100

BASEMENT ELECTRICAL PLAN

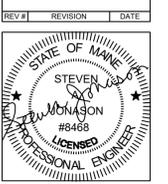
SCALE: 1/8" = 1'-0"



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TITLE
BASEMENT FLOOR
ELECTRICAL PLAN

SHEET
E100

MALLET HALL

AREA OF WORK PLAN

PLAN NORTH TRUE NORTH

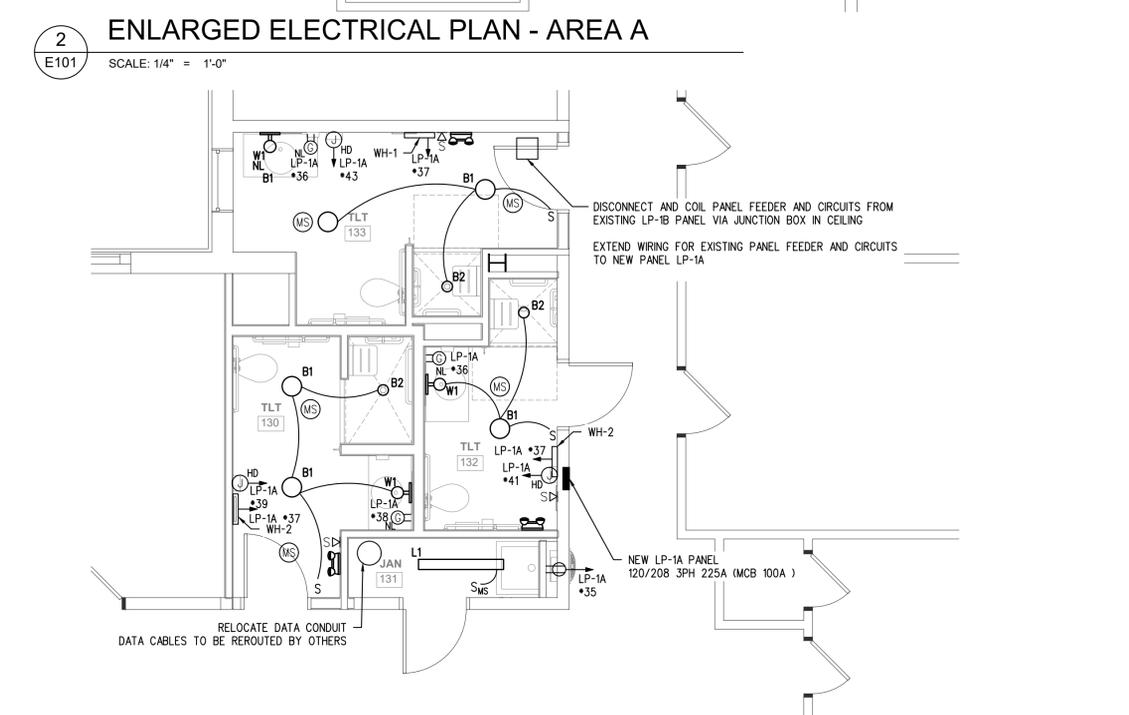
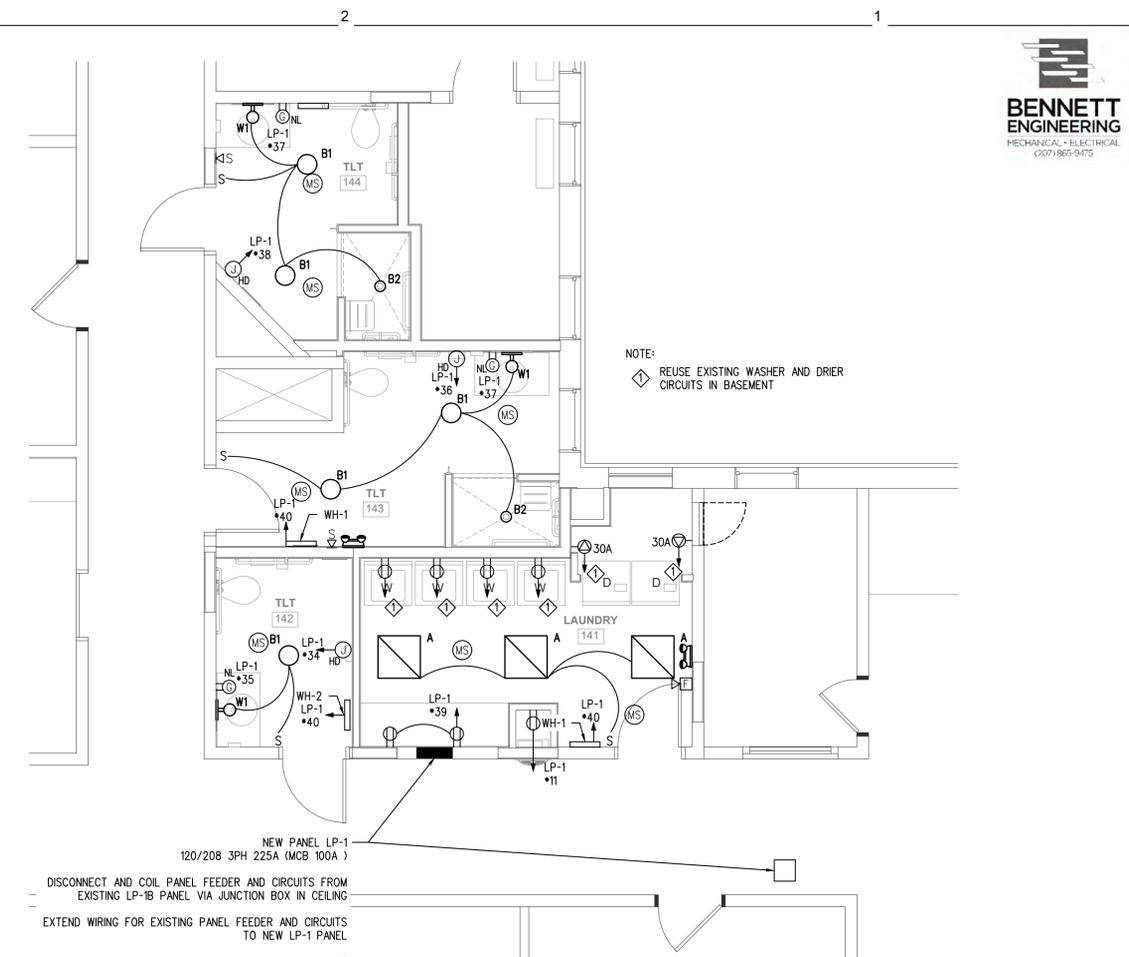
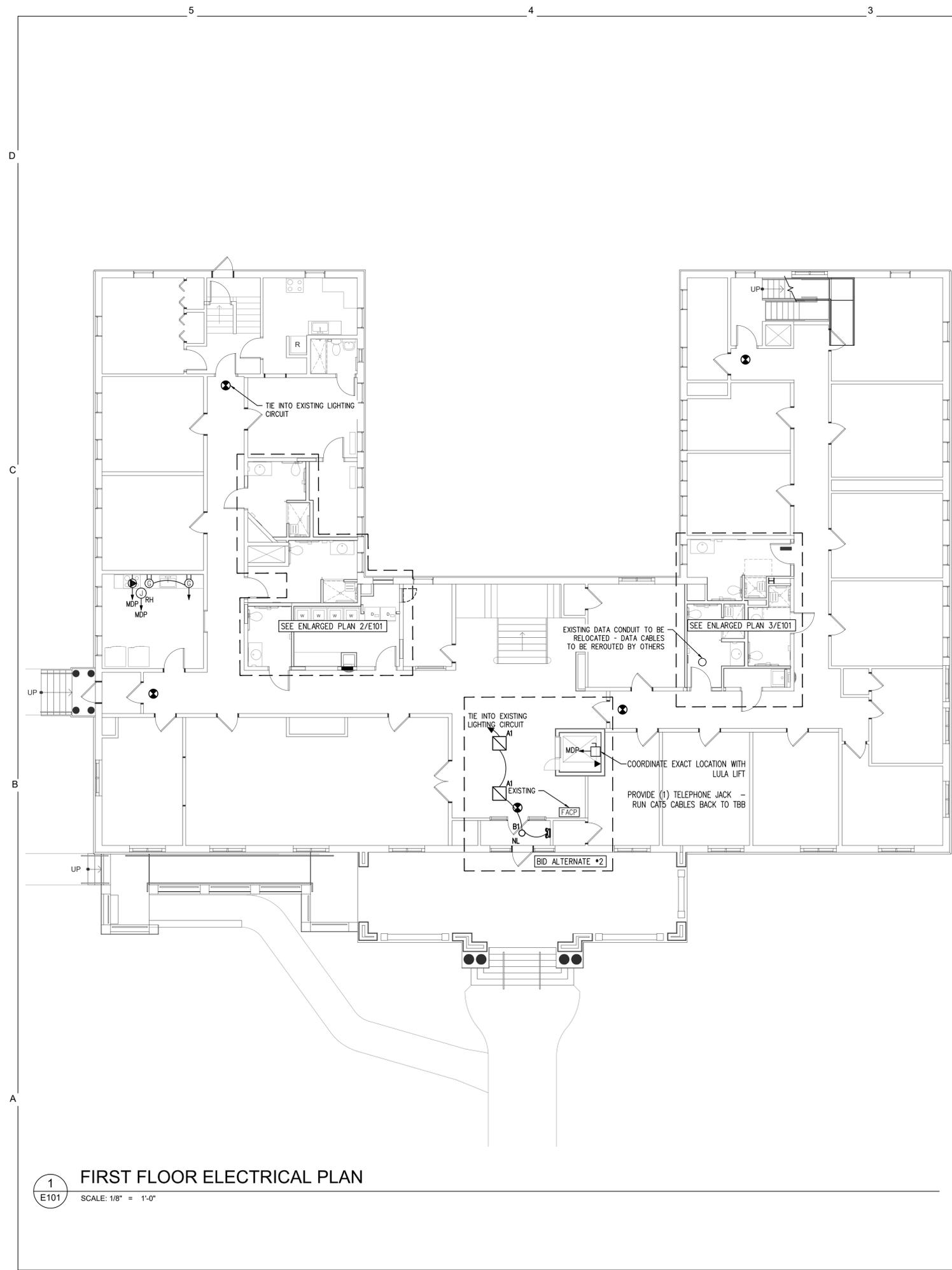
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4

3

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1

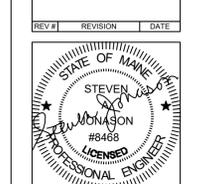


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AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH



JOB NO.
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ISSUE
09/15/2023

TITLE
FIRST FLOOR ELECTRICAL PLAN

SHEET
E101

REV #	REVISION	DATE



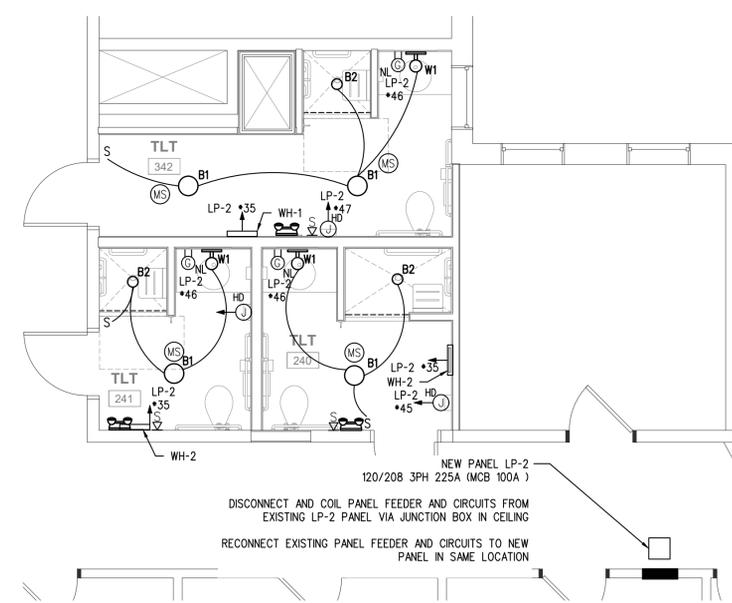
JOB NO.
082184

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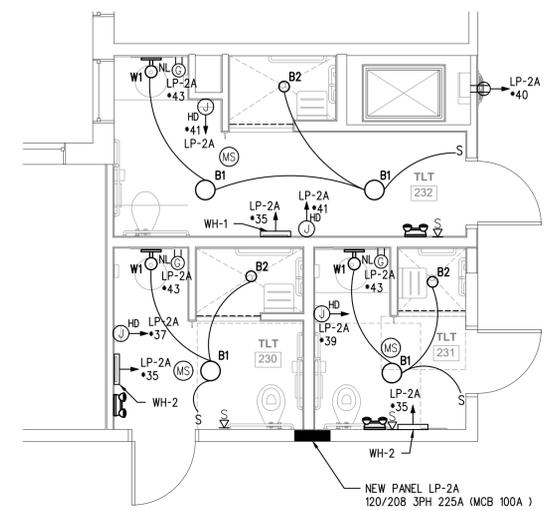
ISSUE
09/15/2023

TITLE
SECOND FLOOR
ELECTRICAL PLAN

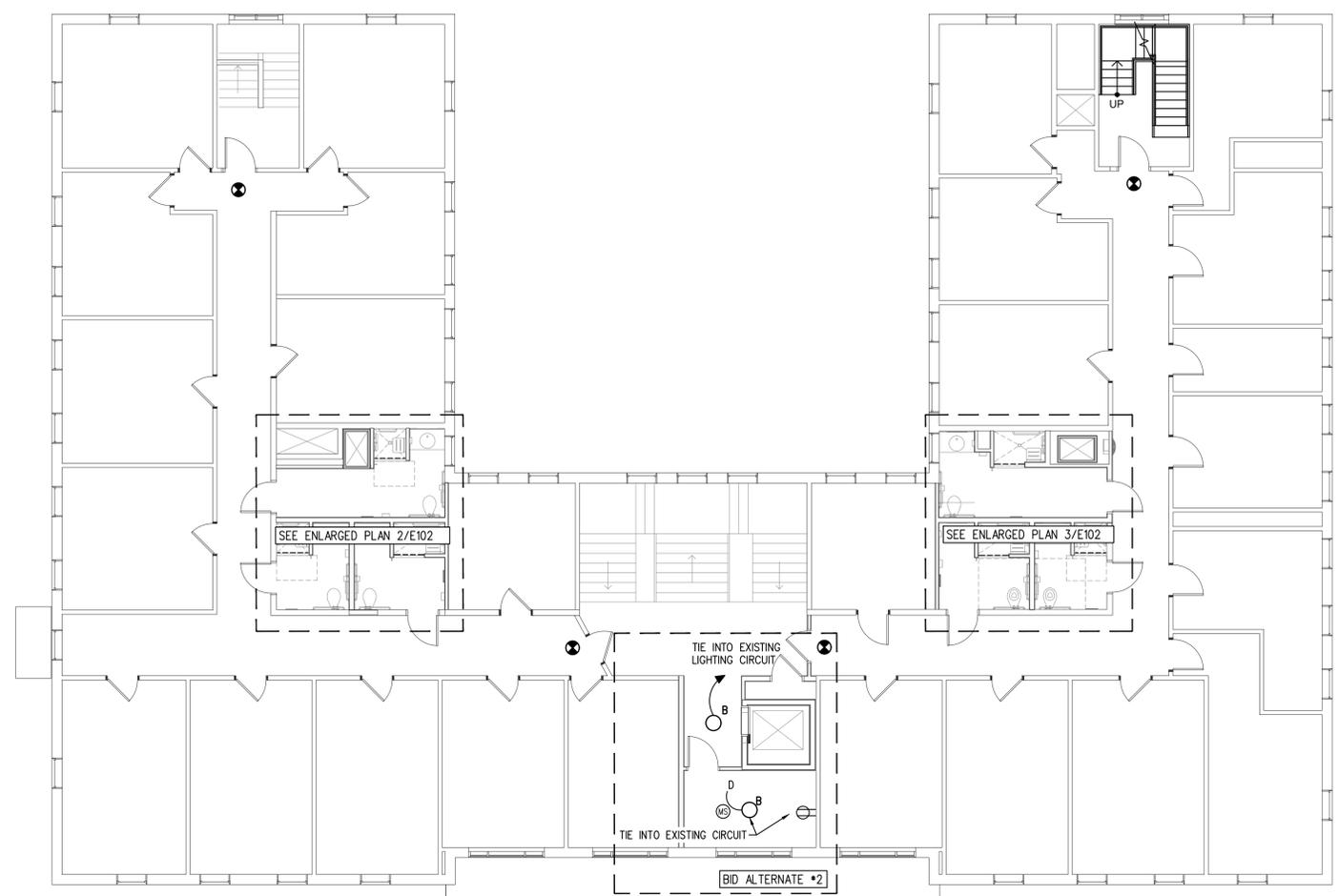
SHEET
E102



2
ENLARGED ELECTRICAL PLAN - AREA A
SCALE: 1/4" = 1'-0"



3
ENLARGED ELECTRICAL PLAN - AREA B
SCALE: 1/4" = 1'-0"

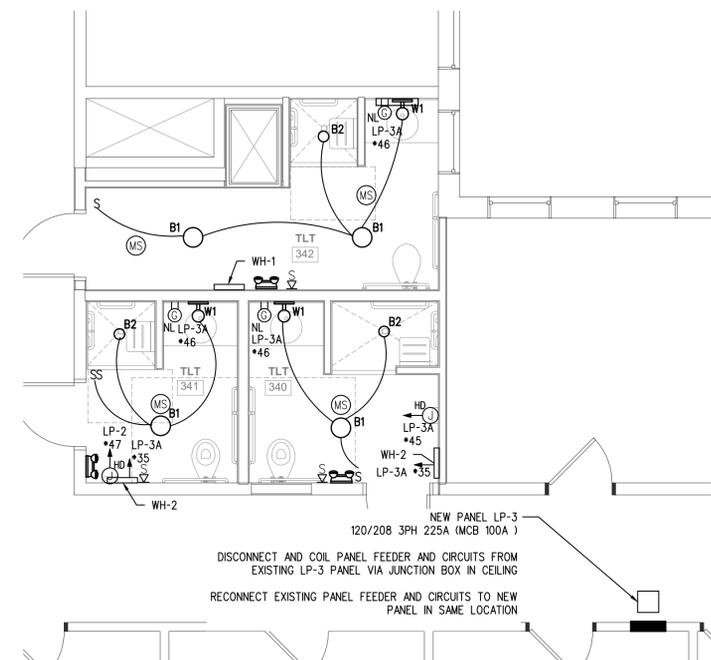


1
SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

MALLET HALL

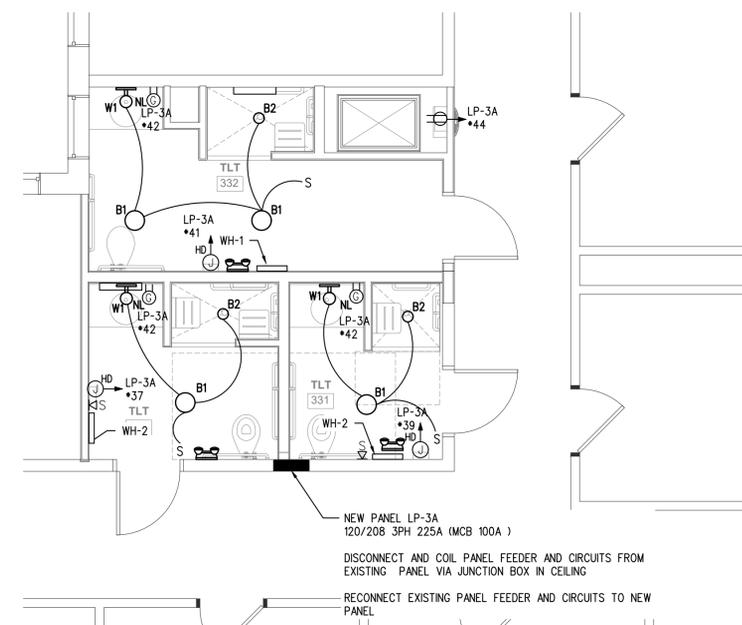
AREA OF WORK PLAN

PLAN NORTH TRUE NORTH



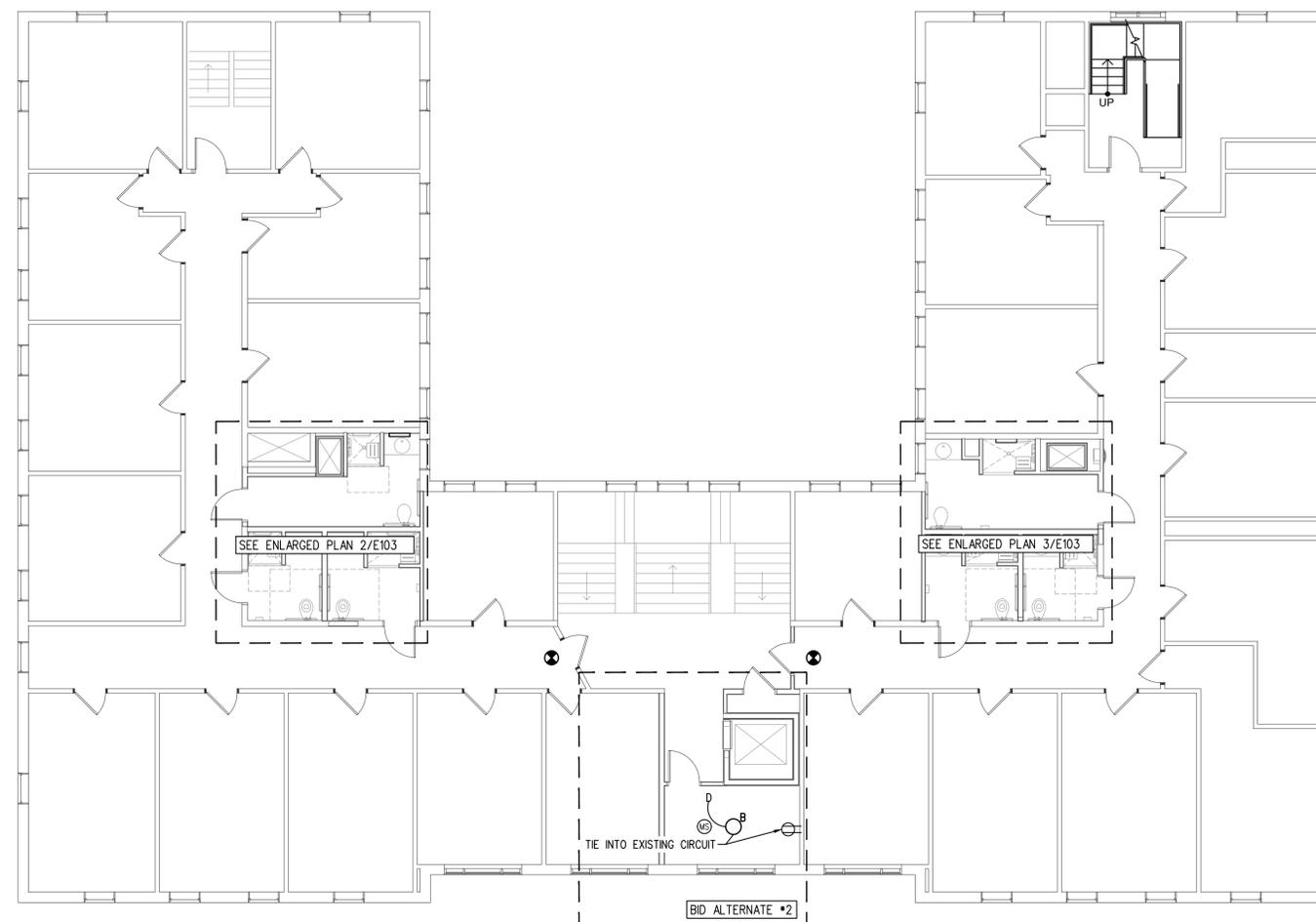
2 ENLARGED ELECTRICAL PLAN - AREA A

SCALE: 1/4" = 1'-0"



3 ENLARGED ELECTRICAL PLAN - AREA B

SCALE: 1/4" = 1'-0"



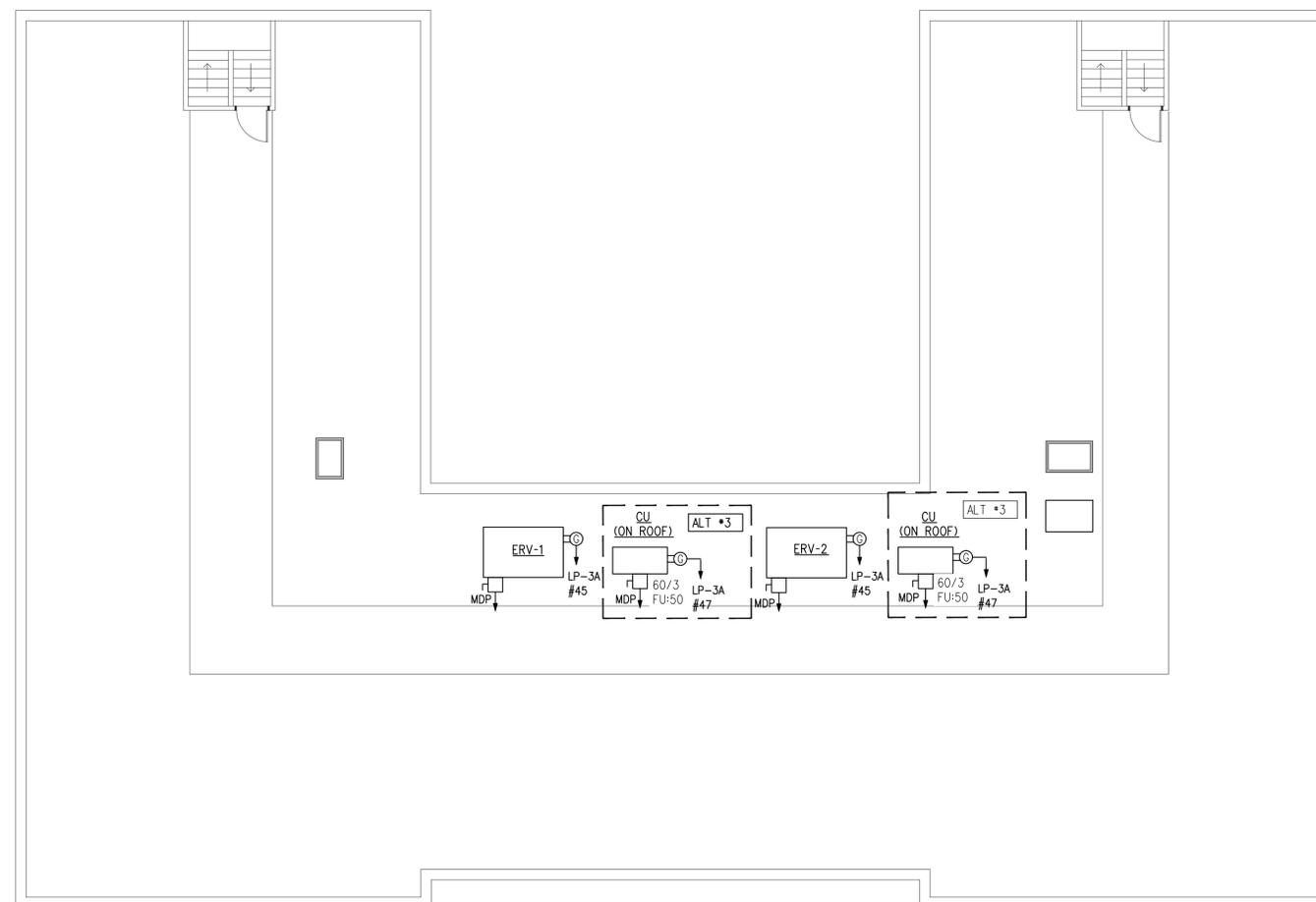
1 THIRD FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

MALLET HALL

AREA OF WORK PLAN

PLAN NORTH TRUE NORTH



1 ATTIC ELECTRICAL PLAN
E104 SCALE: 1/8" = 1'-0"

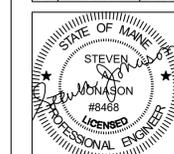
MALLET HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH

REV #	REVISION	DATE



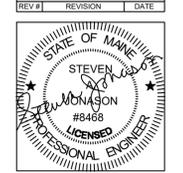
JOB NO.
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TITLE
ATTIC FLOOR
ELECTRICAL PLAN

SHEET
E104



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TITLE
PANEL SCHEDULES
AND LIGHT FIXTURE
SCHEDULE

SHEET
E200

PANEL LP-2 120/208 3PH 4W 225 AMP 100A MCB 22K AIC NEMA TYPE 1 (SURFACE)

CKT #	LOAD DESCRIPTION	AT	P	CA	DF	DA	VA
1	EXISTING LOADS	20	1	1.00	0	0	
2	EXISTING LOADS	20	1	1.00	0	0	
3	EXISTING LOADS	20	1	1.00	0	0	
4	EXISTING LOADS	20	1	1.00	0	0	
5	EXISTING LOADS	20	1	1.00	0	0	
6	EXISTING LOADS	20	1	1.00	0	0	
7	EXISTING LOADS	20	1	1.00	0	0	
8	EXISTING LOADS	20	1	1.00	0	0	
9	EXISTING LOADS	20	1	1.00	0	0	
10	EXISTING LOADS	20	1	1.00	0	0	
11	EXISTING LOADS	20	1	1.00	0	0	
12	EXISTING LOADS	20	1	1.00	0	0	
13	EXISTING LOADS	20	1	1.00	0	0	
14	EXISTING LOADS	20	1	1.00	0	0	
15	EXISTING LOADS	20	1	1.00	0	0	
16	EXISTING LOADS	20	1	1.00	0	0	
17	EXISTING LOADS	20	1	1.00	0	0	
18	EXISTING LOADS	20	1	1.00	0	0	
19	EXISTING LOADS	20	1	1.00	0	0	
20	EXISTING LOADS	20	1	1.00	0	0	
21	EXISTING LOADS	20	1	1.00	0	0	
22	EXISTING LOADS	20	1	1.00	0	0	
23	EXISTING LOADS	20	1	1.00	0	0	
24	EXISTING LOADS	20	1	1.00	0	0	
25	EXISTING LOADS	20	1	1.00	0	0	
26	EXISTING LOADS	20	1	1.00	0	0	
27	EXISTING LOADS	20	1	1.00	0	0	
28	EXISTING LOADS	20	1	1.00	0	0	
29	EXISTING LOADS	20	1	1.00	0	0	
30	EXISTING LOADS	20	1	1.00	0	0	
31	SPARE	20	1	1.00	0	0	
32	SPARE	20	1	1.00	0	0	
33	SPARE	20	1	1.00	0	0	
34	SPARE	20	1	1.00	0	0	
35	WH-1 WH-2	20	1	1.00	0	0	
36	BATHROOM RECEPTACLES	20	1	8	1.00	8	961
37	WH-1 WH-2	20	1	1.00	0	0	
38	BATHROOM RECEPTACLES	20	1	8	1.00	8	961
39	TOILET 231 HAND DRIER	20	1	13	1.00	13	1561
40	SPARE	20	1	1.00	0	0	
41	TOILET 232 HAND DRIER	20	1	13	1.00	13	1561
42	SPARE	20	1	1.00	0	0	
43	BATHROOM LIGHTS	20	1	13	1.00	13	1561
44	SPARE	20	1	1.00	0	0	
45	TOILET 240 HAND DRIER	20	1	13	1.00	13	1561
46	SPARE	20	1	1.00	0	0	
47	TOILET 241 HAND DRIER	20	1	13	1.00	13	1561
48	SPARE	20	1	1.00	0	0	
49	SPARE	20	1	1.00	0	0	
50	SPARE	20	1	1.00	0	0	
51	SPARE	20	1	1.00	0	0	
52	SPARE	20	1	1.00	0	0	
53	SPARE	20	1	1.00	0	0	
54	SPARE	20	1	1.00	0	0	
55	SPARE	20	1	1.00	0	0	
56	SPARE	20	1	1.00	0	0	
57	SPARE	20	1	1.00	0	0	
58	SPARE	20	1	1.00	0	0	
59	SPARE	20	1	1.00	0	0	
60	SPARE	20	1	1.00	0	0	

Panel Voltage: 208
Total Demand KVA: 19.53
Total Demand Amps: 30.33

AT - Amp Trip
P - Poles
A - Amps
CA - Connected Amperes
DF - Demand Factor (1 - 1)
DA - Demand Amperes
VA - VoltAmps
MLO - Main Lug Only
MCB - Main Circuit Breaker

PANEL LP-1A 120/208 3PH 4W 225 AMP 100A MCB 22K AIC NEMA TYPE 1 (SURFACE)

CKT #	LOAD DESCRIPTION	AT	P	CA	DF	DA	VA
1	EXISTING LOADS	15	1	1.00	0	0	
2	EXISTING LOADS	15	1	1.00	0	0	
3	EXISTING LOADS	15	1	1.00	0	0	
4	EXISTING LOADS	15	1	1.00	0	0	
5	EXISTING LOADS	15	1	1.00	0	0	
6	EXISTING LOADS	15	1	1.00	0	0	
7	EXISTING LOADS	15	1	1.00	0	0	
8	EXISTING LOADS	15	1	1.00	0	0	
9	EXISTING LOADS	15	1	1.00	0	0	
10	EXISTING LOADS	15	1	1.00	0	0	
11	EXISTING LOADS	15	1	1.00	0	0	
12	EXISTING LOADS	15	1	1.00	0	0	
13	EXISTING LOADS	15	1	1.00	0	0	
14	EXISTING LOADS	15	1	1.00	0	0	
15	EXISTING LOADS	15	1	1.00	0	0	
16	EXISTING LOADS	15	1	1.00	0	0	
17	EXISTING LOADS	15	1	1.00	0	0	
18	EXISTING LOADS	15	1	1.00	0	0	
19	EXISTING LOADS	15	1	1.00	0	0	
20	EXISTING LOADS	15	1	1.00	0	0	
21	EXISTING LOADS	15	1	1.00	0	0	
22	EXISTING LOADS	15	1	1.00	0	0	
23	EXISTING LOADS	15	1	1.00	0	0	
24	EXISTING LOADS	15	1	1.00	0	0	
25	EXISTING LOADS	15	1	1.00	0	0	
26	EXISTING LOADS	15	1	1.00	0	0	
27	EXISTING LOADS	15	1	1.00	0	0	
28	EXISTING LOADS	15	1	1.00	0	0	
29	EXISTING LOADS	15	1	1.00	0	0	
30	EXISTING LOADS	15	1	1.00	0	0	
31	EXISTING LOADS	15	1	1.00	0	0	
32	SPARE	20	1	1.00	0	0	
33	SPARE	20	1	1.00	0	0	
34	SPARE	20	1	1.00	0	0	
35	WATER FILLER	20	1	8	1.00	8	961
36	WH-1 WH-2	20	1	1.00	0	0	
37	WH-1 WH-2	20	1	1.00	0	0	
38	BATHROOM RECEPTACLES	20	1	8	1.00	8	961
39	TOILET 130 HAND DRIER	20	1	13	1.00	13	1561
40	SPARE	20	1	1.00	0	0	
41	TOILET 132 HAND DRIER	20	1	13	1.00	13	1561
42	SPARE	20	1	1.00	0	0	
43	TOILET 133 HAND DRIER	20	1	13	1.00	13	1561
44	SPARE	20	1	1.00	0	0	
45	SPARE	20	1	1.00	0	0	
46	SPARE	20	1	1.00	0	0	
47	SPARE	20	1	1.00	0	0	
48	SPARE	20	1	1.00	0	0	
49	SPARE	20	1	1.00	0	0	
50	SPARE	20	1	1.00	0	0	
51	SPARE	20	1	1.00	0	0	
52	SPARE	20	1	1.00	0	0	
53	SPARE	20	1	1.00	0	0	
54	SPARE	20	1	1.00	0	0	
55	SPARE	20	1	1.00	0	0	
56	SPARE	20	1	1.00	0	0	
57	SPARE	20	1	1.00	0	0	
58	SPARE	20	1	1.00	0	0	
59	SPARE	20	1	1.00	0	0	
60	SPARE	20	1	1.00	0	0	

Panel Voltage: 208
Total Demand KVA: 8.77
Total Demand Amps: 24.33

AT - Amp Trip
P - Poles
A - Amps
CA - Connected Amperes
DF - Demand Factor (1 - 1)
DA - Demand Amperes
VA - VoltAmps
MLO - Main Lug Only
MCB - Main Circuit Breaker

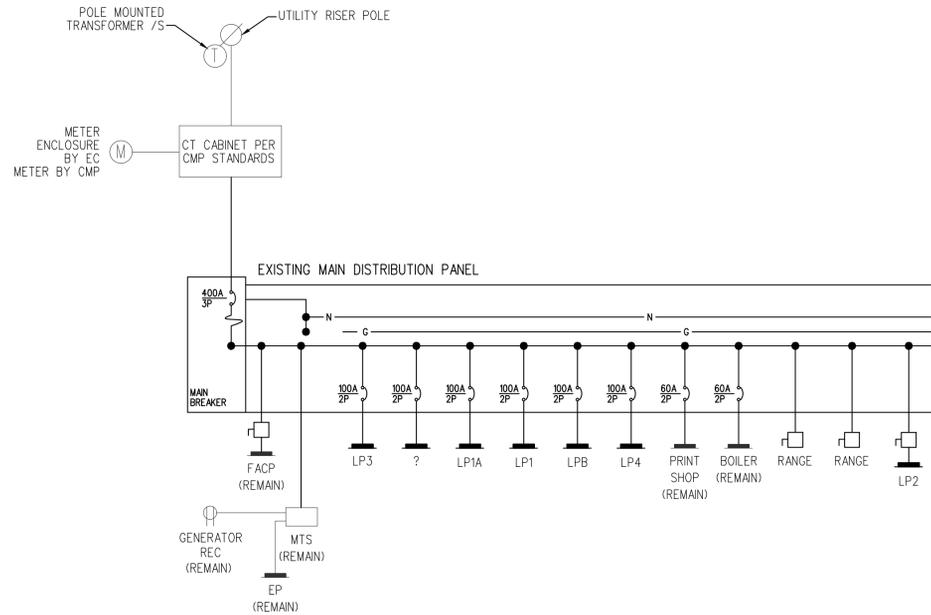
PANEL LP-1 120/208 3PH 4W 225 AMP 100A MCB 22K AIC NEMA TYPE 1 (SURFACE)

CKT #	LOAD DESCRIPTION	AT	P	CA	DF	DA	VA
1	EXISTING LOADS	15	1	1.00	0	0	
2	EXISTING LOADS	15	1	1.00	0	0	
3	EXISTING LOADS	15	1	1.00	0	0	
4	EXISTING LOADS	15	1	1.00	0	0	
5	EXISTING LOADS	15	1	1.00	0	0	
6	EXISTING LOADS	15	1	1.00	0	0	
7	EXISTING LOADS	15	1	1.00	0	0	
8	EXISTING LOADS	15	1	1.00	0	0	
9	EXISTING LOADS	15	1	1.00	0	0	
10	EXISTING LOADS	15	1	1.00	0	0	
11	EXISTING LOADS	15	1	1.00	0	0	
12	EXISTING LOADS	15	1	1.00	0	0	
13	EXISTING LOADS	15	1	1.00	0	0	
14	EXISTING LOADS	15	1	1.00	0	0	
15	EXISTING LOADS	15	1	1.00	0	0	
16	EXISTING LOADS	15	1	1.00	0	0	
17	EXISTING LOADS	15	1	1.00	0	0	
18	EXISTING LOADS	15	1	1.00	0	0	
19	EXISTING LOADS	15	1	1.00	0	0	
20	EXISTING LOADS	15	1	1.00	0	0	
21	EXISTING LOADS	15	1	1.00	0	0	
22	EXISTING LOADS	15	1	1.00	0	0	
23	EXISTING LOADS	15	1	1.00	0	0	
24	EXISTING LOADS	15	1	1.00	0	0	
25	EXISTING LOADS	15	1	1.00	0	0	
26	EXISTING LOADS	15	1	1.00	0	0	
27	EXISTING LOADS	15	1	1.00	0	0	
28	EXISTING LOADS	15	1	1.00	0	0	
29	EXISTING LOADS	15	1	1.00	0	0	
30	EXISTING LOADS	15	1	1.00	0	0	
31	EXISTING LOADS	15	1	1.00	0	0	
32	BATHROOM LIGHTS	20	1	13	1.00	13	1561
33	TOILET 142 HAND DRIER	20	1	13	1.00	13	1561
34	TOILET 143 HAND DRIER	20	1	13	1.00	13	1561
35	TOILET 144 HAND DRIER	20	1	13	1.00	13	1561
36	WH-1 WH-2	20	1	1.00	0	0	
37	WH-1 WH-2	20	1	1.00	0	0	
38	BATHROOM RECEPTACLES	20	1	8	1.00	8	961
39	TOILET 231 HAND DRIER	20	1	13	1.00	13	1561
40	SPARE	20	1	1.00	0	0	
41	TOILET 232 HAND DRIER	20	1	13	1.00	13	1561
42	SPARE	20	1	1.00	0	0	
43	BATHROOM LIGHTS	20	1	13	1.00	13	1561
44	WATER FILLER	20	1	8	1.00	8	961
45	BATHROOM RECEPTACLES	20	1	8	1.00	8	961
46	SPARE	20	1	1.00	0	0	
47	TOILET 241 HAND DRIER	20	1	13	1.00	13	1561
48	BATHROOM RECEPTACLES	20	1	8	1.00	8	961
49	SPARE	20	1	1.00	0	0	
50	SPARE	20	1	1.00	0	0	
51	SPARE	20	1	1.00	0	0	
52	SPARE	20	1	1.00	0	0	
53	SPARE	20	1	1.00	0	0	
54	SPARE	20	1	1.00	0	0	
55	SPARE	20	1	1.00	0	0	
56	SPARE	20	1	1.00	0	0	
57	SPARE	20	1	1.00	0	0	
58	SPARE	20	1	1.00	0	0	
59	SPARE	20	1	1.00	0	0	
60	SPARE	20	1	1.00	0	0	

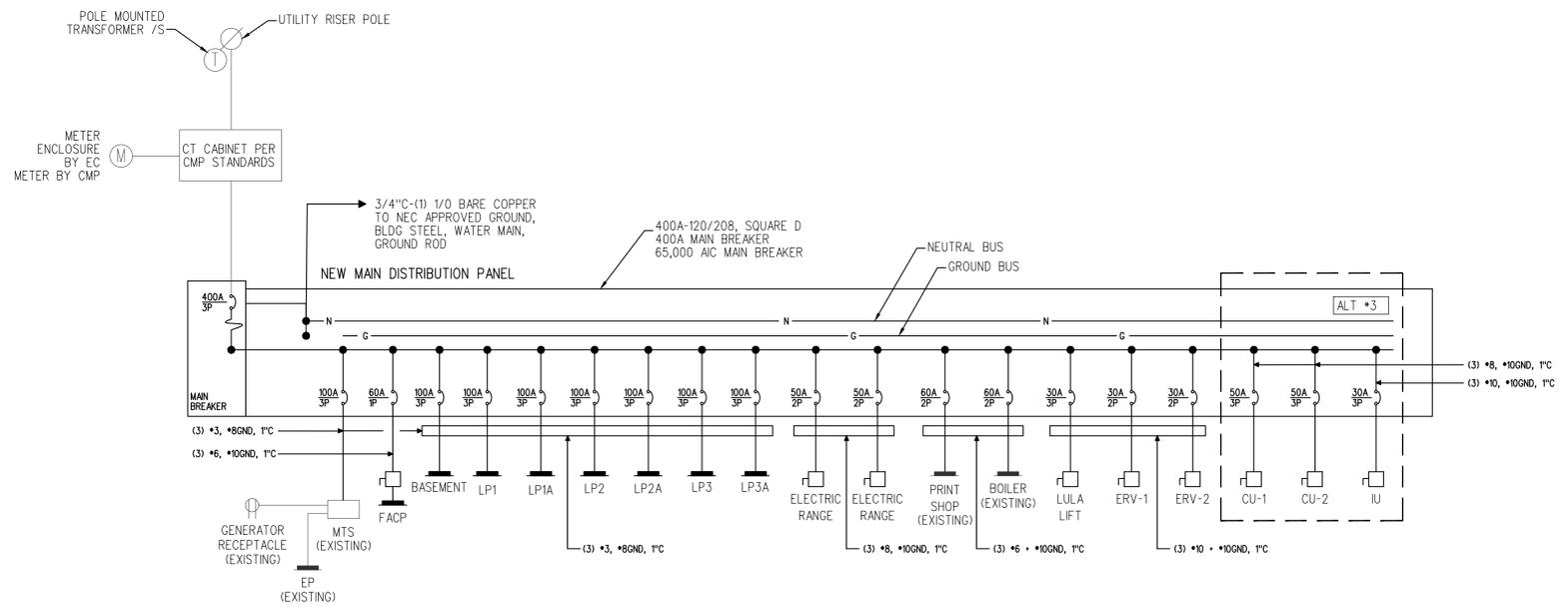
Panel Voltage: 208
Total Demand KVA: 6.24
Total Demand Amps: 17.33

AT - Amp Trip
P - Poles
A - Amps
CA - Connected Amperes
DF - Demand Factor (1 - 1)
DA - Demand Amperes
VA - VoltAmps
MLO - Main Lug Only
MCB - Main Circuit Breaker

PANEL LP-2A 120/208 3



1
E3.00
EXISTING ONE-LINE DIAGRAM
SCALE: NONE



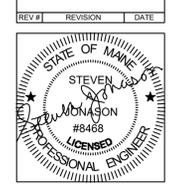
1
E3.00
NEW ONE-LINE DIAGRAM
SCALE: NONE

MALLET HALL

AREA OF WORK PLAN

PLAN NORTH

TRUE NORTH



JOB NO.
082184

ISSUED FOR BID
AND PERMIT

ISSUE
09/15/2023

TITLE
ONE LINE DIAGRAMS

SHEET
E300